



## ADMINISTRATIVE SHORT PLAT REPORT & DECISION

### A. SUMMARY AND PURPOSE OF REQUEST

<b>REPORT DATE:</b>	March 31, 2015
<b>Project Name:</b>	Skagen 5-Lot Short Plat
<b>Project Number:</b>	LUA15-000024, SHPL-A
<b>Project Manager:</b>	Clark H. Close, Associate Planner
<b>Owner/Applicant:</b>	Michael & Laura Skagen, 12050 SE 178 <sup>th</sup> St, Renton, WA 98058
<b>Contact:</b>	Phillip Kitzes, PK Enterprises, 23055 SE 263rd St, Maple Valley, WA 98038
<b>Project Location:</b>	197XX Talbot Road South (APN 793100-0058), Renton, WA 98055
<b>Project Summary:</b>	The applicant is requesting approval of a 5-lot short plat for the future development of 5 single-family houses. The subject property is located on Talbot Rd S, between S 196th Pl and S 199th St in the Residential-4 dwelling units per acre (R-4) zone. The applicant is requesting the clustering of 5 lots with two open space tracts, Tracts A and B, to be used to satisfy the 30% open space requirements. The proposed lots range in size from 7,005 gross square feet in area to 7,020 gross square feet. The residential density is 4.4 dwelling units per net acre. Access to the lots would be from Talbot Road S. Half street frontage improvements will be completed along Talbot Rd S. The applicant is also requesting to extend the previously approved street modification in order to not make any street improvements to the undeveloped street frontage along S 198th Pl. (A <i>Street Modification Request</i> was approved by City of Renton on June 7, 2011; LUA11-089.)

**Site Area:** 50,398 square feet (1.16 acres)



Project Location Map

**B. EXHIBITS:**

- Exhibit 1: Short Plat Staff Report and Administrative Decision
- Exhibit 2: Neighborhood Detail Map
- Exhibit 3: Existing Conditions (PP-01)
- Exhibit 4: Lot Layout (PP-02)
- Exhibit 5: Tree Retention Plan (PP-03)
- Exhibit 6: Landscape Plan (PP-04 & PP-05)
- Exhibit 7: Site Improvement Plan (C-6)
- Exhibit 8: Site Grading Plan (C-7)
- Exhibit 9: Geotechnical Report prepared by Soil & Environmental Engineers, Inc., dated on October 14, 2011
- Exhibit 10: Technical Information Report prepared by John R. Tuttle, dated November 14, 2014
- Exhibit 11: Critical Areas Report by Sewall Wetland Consulting, Inc., dated October 21, 2011
- Exhibit 12: Soos Creek Water and Sewer District Certificate of Water Availability (dated September 15, 2011)
- Exhibit 13: Soos Creek Water and Sewer District Certificate of Sewer Availability (dated September 15, 2011)
- Exhibit 14: Construction Mitigation
- Exhibit 15: Street Modification Request Response – South 198<sup>th</sup> Place
- Exhibit 16: Advisory Notes to Applicant

**C. GENERAL INFORMATION:**

- 1. **Owner(s) of Record:** Michael & Laura Skagen,  
12050 SE 178th St, Renton, WA 98058
- 2. **Zoning Classification:** Residential-4 du/ac (R-4)
- 3. **Comprehensive Plan Land Use Designation:** Residential Low Density (RLD)
- 4. **Existing Site Use:** Vacant
- 5. **Neighborhood Characteristics:**
  - a. **North:** Vacant (R-4 zone)
  - b. **East:** Single Family Residential (R-4 zone)
  - c. **South:** Single Family Residential (R-4 zone)
  - d. **West:** Single Family Residential (R-4 zone)
- 6. **Access:** Via one private, and two shared, driveways extended from Tabot Rd S.
- 7. **Site Area:** 50,398 SF (1.16 acres)

**D. HISTORICAL/BACKGROUND:**

<u>Action</u>	<u>Land Use File No.</u>	<u>Ordinance No.</u>	<u>Date</u>
Comprehensive Plan	N/A	5329	12/10/2007
Zoning	N/A	5329	12/10/2007
Annexation (Benson Hill)	A-06-002	5327	03/01/2008
Skagen Short Plat (Expired)	LUA11-089, SHPL-A	N/A	02/03/2012

**E. APPLICABLE SECTIONS OF THE RENTON MUNICIPAL CODE:**

**1. Chapter 2 Land Use Districts**

- a. Section 4-2-020: Purpose and Intent of Zoning Districts
- b. Section 4-2-060: Zoning Use Table – Uses Allowed in Zoning Designations
- c. Section 4-2-110: Residential Development Standards
- d. Section 4-2-115: Residential Design and Open Space Standards

**2. Chapter 4 Property Development Standards**

- a. Section 4-4-030: Development Guidelines and Regulations – General
- b. Section 4-4-130: Tree Retention and Land Clearing Regulations

**3. Chapter 6 Streets and Utility Standards**

- a. Section 4-6-060: Street Standards

**4. Chapter 7 Subdivision Regulations**

- a. Section 4-7-070: Detailed Procedures for Short Subdivisions
- b. Section 4-7-120: Compatibility with Existing Land Use and Plan – General Requirements and Minimum Standards
- c. Section 4-7-150: Streets – General Requirements and Minimum Standards
- d. Section 4-7-170: Residential Lots – General Requirements and Minimum Standards

**5. Chapter 9 Permits – Specific**

**6. Chapter 11 Definitions**

**F. APPLICABLE SECTIONS OF THE COMPREHENSIVE PLAN:**

1. Land Use Element
2. Community Design Element

**G. DEPARTMENT ANALYSIS:**

**1. Project Description/Background**

The applicant has proposed to subdivide a 1.16 acre (50,398 square feet) site, an infill subdivision project, located within the Residential – 4 dwelling units per acre (R-4) zone. The subject property is located at 197XX Talbot Road South (APN 793100-0058), which is between S 196th Pl and S 199th St (*Exhibit 2*). The proposal would create a total of five (5) lots intended for the development of detached single-family residences (*Exhibit 4*). The site is vacant. The proposed lots range in size from 7,005 gross square feet (GSF) in area to 7,020 GSF with two open space tracts totaling 15,318 square feet. Density would be 4.4 dwelling units per net acre (du/ac). The allowed maximum density of the R-4 zone is 4.0 dwelling units per acre. The proposal is consistent with these density requirements with rounding provisions.



According to the geotechnical investigation, there are no critical areas located on the proposed project site which generally slopes northwesterly at about 10% to 15%, except for the eastern and northern portions of site where steeper slopes exist at approximately 30% to 40% (*Exhibit 3*). There is a Category 2 wetland located to the north of the site for which the buffer extends onto the subject property and is located within the Open Space Tract A (*Exhibit 4*). The applicant is not proposing any impacts to the wetland buffer. There are 72 existing trees deemed to be "significant" on the site. The applicant proposes to retain 18 trees outside the open space tracts and 19 within the open space tracts (*Exhibit 5*), and will comply with required City of Renton landscaping standards for the final short plat by providing a 10-foot landscaped strip along the public street frontage of each lot (*Exhibit 6*).

According to published geologic information (*Geologic Map of The Renton Quadrangle, King County, Washington by D.R. Mullineaux, 1965*), the site area is underlain by Stratified drift (Qsr). The materials include well sorted, virtually un-weathered sand and pebble gravel (*Exhibit 9*). The geotechnical report revealed un-documented fill covering the site by about 4 to 7 feet which is underlain by competent native soils. The fill materials include brown and dark brown silty sand with gravel, trace (about 5% by weight) organic matters and trace debris such as plastic, glass, brick and metal. The test pits also encountered dense native sand from the ground surface to a depth of 10 feet. As such, the liquefaction potential is negligible. No ground water was encountered in any test pits. The report concludes that onsite infiltration to the native sand is feasible; and in order to mitigate for seepage, all infiltration facilities should be located at least 15 feet from any structure. Appropriate design, construction, monitoring, and maintenance measures will be required of the project (*Exhibit 14*).

## **2. Environmental Review**

Except when located on lands covered by water or sensitive areas, short plats are exempt from SEPA Environmental Review pursuant to WAC 197-11-800(6)(a).

## **3. Compliance with ERC Conditions**

N/A

## **4. Staff Review Comments**

Representatives from various city departments have reviewed the application materials to identify and address issues raised by the proposed development. These comments are contained in the official file, and the essence of the comments has been incorporated into the appropriate sections of this report and the Departmental Recommendation at the end of this report (*Exhibit 16*).

## **5. Consistency with Short Plat Criteria**

Approval of a plat is based upon several factors. The following short plat criteria have been established to assist decision-makers in the review of the plat:

**SHORT PLAT REVIEW CRITERIA:** Approval of a plat is based upon several factors. The following short plat criteria have been established to assist decision-makers in the review of the plat.

(✓ Compliant; Note 1: Partially compliant; Note 2: Not compliant; Note 3: Compliance not yet demonstrated)

### **1. CONFORMANCE WITH THE COMPREHENSIVE PLAN:**

The site is designated Residential Low Density (RLD) on the Comprehensive Plan Land Use Map. Lands in the RLD designation are intended to guide development on land appropriate for a range of low intensity residential where land is either constrained by sensitive areas or where the City has the opportunity to add larger-lot housing stock, at urban densities of 4 dwelling units per net acre (du/ac), to its inventory. The

proposal is consistent with the following Comprehensive Plan Land Use and Community Design Element policies, if all conditions of approval are met, unless noted otherwise:	
✓	<p><b>Policy LU157.</b> Within the Residential 4 du/acre zoned area allow a maximum density of 4 units per net acre to encourage larger lot development and increase the supply of upper income housing consistent with the City's Housing Element.</p> <p><i>Staff Comment: Net Density is defined, such that density calculations resulting in a fraction that is less than 0.50 shall be rounded down to the nearest whole number. The proposed density is within the preferred range with a net density of 4.4 du/ac (5 lots / 1.13 acres = 4.4 du/ac) with small lot cluster development.</i></p>
✓	<p><b>Objective CD-C.</b> Promote reinvestment in and upgrade of existing residential neighborhoods through redevelopment of small, underutilized parcels with infill development, modification and alteration of older housing stock, and improvements to streets and sidewalks to increase property values.</p>
✓	<p><b>Policy CD-14.</b> Infill development, defined as new short plats of nine or fewer lots, should be encouraged in order to add variety, updated housing stock, and new vitality to neighborhoods.</p>
Note 1	<p><b>Policy CD-15.</b> Infill development should be reflective of the existing character of established neighborhoods even when designed using different architectural styles, and/or responding to more urban setbacks, height or lot requirements. Infill development should draw on elements of existing development such as placement of structures, vegetation, and location of entries and walkways, to reflect the site planning and scale of existing areas.</p> <p><i>Staff Comment: Proposed lot sizes are generally smaller than existing lots bordering the parcel, although more recent subdivision of land in the area has created similar-sized lots to the northwest. Detailed site and architectural designs, which would be reviewed to determine compatibility with the context of the site, are not yet available.</i></p>
<b>2. COMPLIANCE WITH THE UNDERLYING ZONING CLASSIFICATION:</b>	
Objectives and policies of the Comprehensive Land Use Plan (RLD) designation are implemented by Residential 4 zone (R-4). RMC 4-2-110A provides development standards for development within the R-4 zoning classification. The proposal is consistent with the following development standards if all conditions of approval are met, unless noted otherwise:	
✓	<p><b>Density:</b> The maximum density allowed in the R-4 zone is 4 du/ac. Net density is calculated after the deduction of critical areas, areas intended for public rights-of-way, and private access easements. Calculations for minimum or maximum density that result in a fraction that is 0.50 or greater shall be rounded up to the nearest whole number. Those density calculations resulting in a fraction that is less than 0.50 shall be rounded down to the nearest whole number.</p> <p><i>Staff Comment: The applicant would be required to record 1,000 square feet of area for private access easements. As a result, the net square footage of the site would be 49,398 square feet (1.13 net acres). The five lot proposal would arrive at a net density of 4.4 dwelling units per acre (5 lots / 1.13 acres = 4.4 du/ac). The proposed density falls within the preferred range for the R-4 zone.</i></p>
✓	<p><b>Cluster Development:</b> Larger lot subdivisions are preferred in the R-4 zone; however, "small lot cluster" are allowed on sites where open space amenities are created. Resulting development is intended to be superior in design. Small lot clusters of up to a maximum of fifty (50) lots are allowed within the R-4 zone when at least thirty percent (30%) of the site is permanently set aside as "open space." Such open space shall be situated to act as a visual buffer between lot clusters and other development in the zone.</p>

	<p><i>Staff Comment: The proposal for 15,318 square feet in open space would arrive at a 30% set aside (15,318 SF / 50,398 SF = 30%). The Tracts along the northern and eastern borders would act as a buffer to the abutting R-4 classified properties. The properties to the west and east would be buffered by improved and unimproved right-of-ways along Talbot Rd S and S 198<sup>th</sup> Pl and the required 10 feet of onsite landscaping along the public street frontage of each lot. The only area that lacks a direct open space buffer between the proposed lot cluster development and the R-4 parcel to the east is the rear portion of Lot 5 for approximately 45 feet along the shared property line. Staff is recommending that the applicant revise the landscaping plan to include a 10-foot landscaping strip along the rear portion of Lot 5, which shall be placed in an easement requiring retention, and noted on the face of the plat. Alternatively, the applicant may elect to revise the plat to connect both Tract A and Tract B such that there is a minimum of 10 feet of separation between Lot 5 and the property line to the east.</i></p>		
<b>Note 1</b>	<p><b>Lot Dimensions:</b> The minimum lot size permitted in the R-4 zoning designation is 8,000 square feet, except for small lot cluster development, where R-8 standards apply. A minimum lot width of 70 feet is required for interior lots and 80 feet for corner lots, except for small lot cluster development, where R-8 standards apply. Lot depth is required to be a minimum of 80 feet, except for small lot cluster development, where R-8 standards apply. For a small lot cluster development in the R-4 zone, R-8 lot dimension standards would apply. Therefore, the minimum lot size permitted for Lots 1-5 is 7,000 SF (Ord. No. 5724). The minimum lot width is 60 feet for interior lots and 70 feet for corner lots. Lot depth is required to be a minimum of 90 feet.</p> <p><i>Staff Comment: The following table identifies the proposed dimensions for Lots 1-5:</i></p>		
	<b><u>Proposed Lots</u></b>	<b><u>Lot Size</u> (7,000 SF minimum)</b>	<b><u>Width</u> (60 or 70 feet minimum)</b>
		<b><u>Depth</u> (90 feet minimum)</b>	
	<b>Lot 1</b>	7,012 SF (Gross) 6,762 SF (Net)	70.06 feet
	<b>Lot 2</b>	7,020 SF (Gross) 6,770 SF (Net)	60.00 feet
	<b>Lot 3</b>	7,020 SF (Gross) 6,770 SF (Net)	60.00 feet
	<b>Lot 4</b>	7,020 SF (Gross) 6,770 SF (Net)	60.00 feet
	<b>Lot 5</b>	7,005 SF	62.00 feet
	<b>Tract A</b>	3,205 SF	N/A
	<b>Tract B</b>	12,113 SF	N/A
<p>Without the creation of shared driveway tracts or mutual access easements the applicant meets the minimum lot size requirements of the code. The net area of the lot falls short of the minimum lot size should staff require both shared driveways to be wholly within a tract and a mutual access easement to be recorded with the King County Recorder's Office. Because the City is requiring the applicant to consolidate their access into shared driveways, which necessitates access easement, the easement area should not be deducted from the lot area when determining compliance with minimum lot size. If the applicant could access each lot with individual driveways, which is permitted by code, the lots would meet minimum lot size as no easement or tract would be required. Therefore, staff has determined the lots meet minimum lot size based on gross lot area. Staff is in support of deviations from shared driveway standards and minimum lot size requirements of the code, effectively not requiring</p>			



	<p><i>the applicant to provide separate access tracts to serve Lots 1 &amp; 2 and Lots 3 &amp; 4. The purposes of the deviations are to reduce the number of curb cuts on Talbot Rd S and improve the public interest. Upon the sale of the lots, the owner must convey mutual access easements for the benefits of Lots 1 &amp; 2 and Lots 3 &amp; 4.</i></p>
✓	<p><b>Setbacks:</b> The required setbacks in the R-4 zone are the following: front yard is 30 feet; a side yard along the street is 20 feet; interior side yard is 5 feet; the rear yard is 25 feet.</p> <p>For small lot cluster developments in R-4 zone (Lots 1-5), R-8 interim setback standards apply (Ord. No. 5724). The required setbacks are as follows: front yard is 25 feet; interior side yard is 7.5 feet; side yard along a street is 17.5 feet for the primary structure; and the rear yard is 25 feet.</p> <p><u>Staff Comment:</u> All lots appear to contain adequate area to provide all the required setback areas for new residences. Compliance with building setback requirements would be reviewed at the time of building permit review. As shown on the preliminary site plan (Exhibit 4) all houses would meet the building setback requirements.</p> <p><i>In addition, the homes built on these new lots would be subject to RMC 4-2-115 Residential Design Standards.</i></p>
Note 3	<p><b>Building Standards:</b> The R-4 or R-8 zone permits one single family residential structure per lot. Accessory structures are permitted at a maximum number of two (2) per lot with a maximum size of 720 SF each, or a maximum of one (1) per lot with a maximum of 1,000 SF. Accessory structures are permitted only when associated with a primary structure located on the same parcel of land.</p> <p>The maximum building height in the R-4 or R-8 zone is 30 feet. Building height is based on the measurement of the vertical distance from the grade plane to the average height of the roof surface. The grade plane is the average of existing ground level adjoining the building at exterior walls. Where the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest points within the area between the building and the lot line, or where the lot line is more than 6 feet from the building, between the building and a point 6 feet from the building.</p> <p>The maximum building coverage in the R-8 zone, for lots larger than 5,000 SF, is 35 percent or 2,500 SF, whichever is greater. The maximum impervious surface area is 75%.</p> <p><u>Staff Comment:</u> The building standards for the proposed lots would be verified at the time of building permit review.</p>
✓	<p><b>Landscaping:</b> Ten feet of onsite landscaping is required along all public street frontages, with the exception of areas for required walkways and driveways per RMC 4-4-070. Such landscaping shall include a mixture of trees, shrubs, and groundcover as approved by the Department of Community and Economic Development.</p> <p>Minimum planting strip widths between the curb and sidewalk are established according to the street development standards of RMC 4-6-060. Street trees and, at a minimum, groundcover are to be located in this area when present.</p> <p>Where there is insufficient right-of-way space or no public frontage, street trees are required in the front yard.</p> <p><u>Staff Comment:</u> The applicant is proposing 10 feet of onsite landscaping with 100 percent drought tolerant plant material totaling 3,443 square feet (Exhibit 6). Species include: 6-Chinese dogwood, 4-Japanese snowbell, 16-oakleaf hydrangea, 17-yellowtwig dogwood, 95-English lavender, 36-davids viburnum, 19-hamelin fountain grass, 99-double play artist spiraea, 40-compact blue fescue, 124-powis castle artemisia, grace ward at 12" O.C. triangle spacing, and kinnikinnick 24" O.C. triangular spacing.</p>

	<i>No rock walls will be allowed in the planter strip area(s). A final detailed landscape plan shall be submitted to and approved by the Current Planning Project Manager prior to construction permit approval.</i>
Compliant if Conditions of Approval Met	<p><b>Retaining Walls and Fences:</b> A retaining wall that is four feet (4') or taller, as measured by the vertical distance from the bottom of the footing to the finish grade at the top of the wall requires a building permit. A fence shall not be constructed on top of a retaining wall unless the total combined height of the retaining wall and the fence does not exceed the allowed height of a standalone fence. There shall be a minimum three-foot (3') landscaped setback at the base of retaining walls abutting public rights-of-way. Landscaping shall include a mixture of shrubs and groundcover (trees are optional) in conformance with the standards of RMC 4-4-070H4, Perimeter Parking Lot Landscaping.</p> <p>Fences or hedges adjacent to retaining walls with a combined height that exceeds the allowed height of a standalone retaining wall shall be set back by a minimum of two feet (2'); this area shall be landscaped as if it were a terrace.</p> <p><u>Staff Comment:</u> <i>There is a proposed 3.4-foot tall retaining wall, at the back of the sidewalk, engineered to support the concrete driveway on Lot 1. Staff recommends as a condition of approval the applicant be required to move the retaining wall at least three (3) feet behind the public right-of-way. In addition, the applicant shall include three (3) feet of landscaping between the wall and the sidewalk. A final detailed site grading plan and landscape plan shall be submitted to and approved by the Current Planning Project Manager prior to construction permit approval.</i></p> <p><i>Any rockeries or retaining walls greater than 4 feet in height will require a separate building permit. Structural calculations and plans shall be submitted for review by a licensed engineer. Special Inspection is required.</i></p>
✓	<p><b>Tree Retention:</b> RMC 4-4-130 requires 30% of the trees be retained in a residential development.</p> <p><u>Staff Comment:</u> <i>There are a total of 72 significant trees located onsite of which 18 are proposed to be retained. The applicant is required to retain 30 percent of the trees located onsite that are not located within critical areas, proposed rights-of-way and access easements. The applicant indicates 19 trees onsite would be excluded from the tree retention calculations due to their location in proposed tracts; therefore, the 18 trees proposed to be retained meets the minimum 30% tree retention requirement (Exhibit 5).</i></p>
✓	<p><b>Parking:</b> Each unit is required to accommodate off-street parking for a minimum of two vehicles.</p> <p><u>Staff Comment:</u> <i>Sufficient area exists, on each lot, to accommodate off-street parking for a minimum of two vehicles.</i></p>
<b>3. CRITICAL AREAS:</b>	
The proposal is consistent with critical area regulations as stated in RMC 4-3-050 if all conditions of approval are met:	
✓	<p><b>Critical Areas:</b> According to Renton COR Maps the site contains sensitive areas, specifically steep slopes near the northeastern portions of site. Manage development activities to protect geologically hazardous areas as defined by the Growth Management Act and RMC 4-3-050, Critical Area Regulations.</p> <p><u>Staff Comment:</u> <i>The applicant submitted a Geotechnical Report prepared by Soil &amp; Environmental Engineers, Inc., dated on October 14, 2011 (Exhibit 9). The report indicates that the topography of the site descends gently northward at about 10% to 15%, except for</i></p>



	<p><i>the eastern and northern portions of the site where steep slopes are present on the order of 30% to 40%. At the time of the report, the slope areas of the site were covered with dense trees whereas the flat area was covered with tall grass.</i></p> <p><i>Based on the review of the contour lines, it appears that the site may reach regulated slope status within open space Tract A. No impacts are proposed to Tract A; therefore, the project complies with the Critical Areas Regulations of the code.</i></p>
<b>4. DESIGN STANDARDS:</b>	
<p>Residential Design and Open Space Standards (RMC 4-2-115) are applicable in the R-4 zoning classification. The Standards implement policies established in the Land Use and Community Design Elements of the Comprehensive Plan. Compliance with Site Design Standards must be demonstrated prior to approval of the subdivision. Compliance with Residential Design Standards would be verified prior to issuance of building permits. The proposal is consistent with the following design standards, unless noted otherwise:</p>	
✓	<p><b>Lot Configuration:</b> One of the following is required:</p> <p>1) Lot width variation of 10 feet (10') minimum of one per four (4) abutting street-fronting lots, or 2) Minimum of four (4) lot sizes (minimum of four hundred (400) gross square feet size difference), or 3) A front yard setback variation of at least five feet (5') minimum for at least every four (4) abutting street fronting lots.</p> <p><u>Staff Comment:</u> Based on the lot layout, configuration standard #1 has been met (Exhibit 4).</p>
Note 3	<p><b>Garages:</b> The minimization of the visual impact of garages contributes to creating communities that are oriented to people and pedestrians, as opposed to automobiles. One of the following is required (some options are not listed here due to lack of site feasibility, i.e. garages accessed from alley):</p> <ol style="list-style-type: none"> <li>1. Recessed from the front of the house and/or front porch at least 8 feet, or</li> <li>2. Located so the roof extends at least 5 feet (excluding eaves) beyond the front of the garage for at least the width of the garage, plus the porch/stoop area, or</li> <li>3. Sized so that it represents no greater than 50 percent of the width of the front façade at ground level, or</li> <li>4. Detached.</li> </ol> <p>The portion of the garage wider than 26 feet across the front shall be set back at least 2 feet.</p> <p><u>Staff Comment:</u> Building plans, which would be used to determine visual impact of garages, have not been submitted yet. The general orientation of the building footprint shows the garages in the front of the house and the front door of the houses near the back of the house. This design may not meet the standards for garages. Compliance with the garage code would be submitted and reviewed at the time of building permit review.</p>
Note 3	<p><b>Primary Entry:</b> Entrances to houses shall be a focal point and allow space for social interaction. One of the following is required:</p> <ol style="list-style-type: none"> <li>1. Stoop: minimum 4 feet by 6 feet and 12 inches above grade, or</li> <li>2. Porch: minimum 5 feet deep and 12 inches above grade.</li> </ol> <p>Exception: An ADA accessible route may be taken from a front driveway.</p> <p><u>Staff Comment:</u> Building designs, which would be used to evaluate design of entrances, have not been submitted yet. They would be submitted for building permit review.</p>
Note 3	<p><b>Façade Modulation:</b> Buildings shall not have monotonous façades along public areas. One of the following is required:</p>

	<ol style="list-style-type: none"> <li>1. An offset of at least one story that is at least 10 feet wide and 2 feet in depth on façades visible from the street, or</li> <li>2. At least a 2-foot offset of second story from first story on one street-facing façade.</li> </ol> <p><i>Staff Comment: Building designs, which would be used to evaluate design of façades, have not been submitted yet. They would be submitted for building permit review.</i></p>
<b>Note 3</b>	<p><b>Windows and Doors:</b> Windows and front doors are an integral part of the architectural character of a house. Windows and doors shall constitute 25% of all façades facing street frontage.</p> <p><i>Staff Comment: Building designs, which would be used to evaluate design of windows and doors, have not been submitted yet. They would be submitted for building permit review. Lot 1 would need to, at minimum, meet the openings requirement of 25% percent for two facades, namely the façade facing both Talbot Rd S and S 198<sup>th</sup> Place.</i></p>
<b>Note 3</b>	<p><b>Scale, Bulk, and Character:</b> Neighborhoods shall have a variety of home sizes and character. Abutting houses shall have differing architectural elevations.</p> <p><i>Staff Comment: Building designs, which would be used to evaluate scale, bulk, and character of structures, and design of windows and doors have not been submitted yet. They would be submitted for building permit review.</i></p>
<b>Note 3</b>	<p><b>Roofs:</b> Roof forms and profiles are an important architectural component. One of the following is required:</p> <ol style="list-style-type: none"> <li>1. Hip or gabled roof with at least a 6:12 pitch for the prominent form of the roof (dormers, etc., may have lesser pitch), or</li> <li>2. Shed roof.</li> </ol> <p><i>Staff Comment: Building designs, which would be used to evaluate roof forms, have not been submitted yet. They would be submitted for building permit review.</i></p>
<b>Note 3</b>	<p><b>Eaves:</b> Eaves and overhangs act as unifying elements in the architectural character of a house. Both of the following are required:</p> <ol style="list-style-type: none"> <li>1. Eaves projecting from the roof of the entire building at least 12 inches with horizontal fascia or fascia gutter at least 5 inches deep on the face of all eaves, and</li> <li>2. Rakes on gable ends must extend a minimum of 2 inches from the surface of exterior siding materials.</li> </ol> <p><i>Staff Comment: Building designs, which would be used to evaluate design of eaves and overhangs, have not been submitted yet. They would be submitted for building permit review.</i></p>
<b>Note 3</b>	<p><b>Architectural Detailing:</b> Architectural detailing contributes to the visual appeal of a house and the community. If one siding material is used on any side of the dwelling that is two stories or greater in height, a horizontal band that measures at least 8 inches is required between the first and second story. Also, one of the following is required:</p> <ol style="list-style-type: none"> <li>1. Minimum 3-1/2 inch trim surrounds all windows and details all doors, or</li> <li>2. A combination of shutters and minimum 3-1/2 inch trim details all windows and minimum 3-1/2 inch details all doors.</li> </ol> <p><i>Staff Comment: Building designs, which would be used to evaluate architectural detailing, have not been submitted yet. They would be submitted for building permit review.</i></p>
<b>Note 3</b>	<p><b>Materials and Color:</b> A variety of materials and color contributes to the diversity of housing</p>

	<p>in the community. Abutting houses shall be different colors. Color palettes for all new dwellings, coded to the building elevations, shall be submitted for approval. Additionally, one of the following is required:</p> <ol style="list-style-type: none"> <li>1. A minimum of 2 colors shall be used on the building (a main color with different trim color is acceptable), or</li> <li>2. A minimum of 2 different siding materials shall be used on the building. One siding material shall comprise a minimum 30 percent of the street-facing façade. If masonry siding is used, it shall wrap the corners no less than 24 inches.</li> </ol> <p><i>Staff Comment: Building designs, which would be used to evaluate material and color choices, have not been submitted yet. They would be submitted for building permit review.</i></p>
<b>5. COMPLIANCE WITH SUBDIVISION REGULATIONS:</b>	
RMC 4-7 Provides review criteria for the subdivisions. The proposal is consistent with the following subdivision regulations if all conditions of approval are complied with:	
✓	<p><b>Access:</b> Each lot must have access to a public street or road. Shared driveway must be wholly within a tract. The tract shall be shown and recorded on the face of the plat to be preserved in perpetuity. The owners of the subject lots shall have an equal and undivided interest in the ownership of the tract. The shared driveway must be installed prior to recording of the plat unless approved for deferral. An access easement must be recoded with the King County Recorder's Office and be shown on the face of the plat to encumber the entirety of the tract. The easement shall prohibit any temporary or permanent physical obstructions within the easement including, but not limited to, the parking of non-emergency vehicles.</p> <p>Maximum driveway slopes shall not exceed fifteen percent (15%); provided, that driveways exceeding eight percent (8%) shall provide slotted drains at the lower end with positive drainage discharge to restrict runoff from entering the garage/residence or crossing any public sidewalk. Driveways shall not be closer than five feet (5') to any property line.</p> <p><i>Staff Comment: Access to the new lots would be from Talbot Rd S. The applicant is proposing to utilize mutual access easements between Lots 1 &amp; 2 and 3 &amp; 4, via two shared driveways, which will reduce the number of curb cuts to no more than three (3) curb cuts along Talbot Rd S. Staff is in support of a modification from the requirement to place shared driveways wholly within a tract in order to reduce the number of curb cuts onto Talbot Rd S. A reduction in the number of curb cuts on Talbot Rd S is in the best interest of the public and will serve to improve overall traffic safety on Talbot Rd S. Staff recommends as a condition of approval that the applicant be required to include two (2) mutual access easements for Lots 1 &amp; 2 and Lots 3 &amp; 4 upon land conveyance. The mutual access easements must be recorded prior to, or concurrent with, the sale of the lots to individual owners.</i></p> <p><i>The applicant is proposing porous concrete for the two shared driveways. The driveway to the house on Lot 5 will be constructed with cement concrete and the slope of the driveway is at 15% grade at the entrance. Staff recommends as a condition of approval that the applicant shall maintain a five-foot (5') separation from any property line before constructing a driveway at 15% grade on Lot 5. The applicant must file for a deferral in order defer the installation of the shared driveways improvements.</i></p> <p><i>Because the driveway is designed at the maximum permitted slope, staff recommends as a condition of approval that a driveway cross-section be provided with the building permit application for Lot 5. If the driveway exceeds the maximum driveway slope of 15%, at any point, a variance would be required.</i></p>



✓	<p><b>Streets:</b> The proposed street system shall extend and create connections between existing streets per the Street Standards outlined in RMC 4-6-060 Street Standards.</p> <p><i>Staff Comment:</i> Frontage improvements are required to be constructed in the right-of-way fronting the site in Talbot Road S. To meet the City's new complete street standards, street improvements fronting this site will include a 5-foot sidewalk, 8-foot planter strip, curb, gutter and 32-feet of pavement from centerline, including a 5-foot wide bike lane per the adopted 2009 Trails and Bicycle Master Plan.</p> <p>Per RMC4-6-060D.3 the grid pattern may be adjusted to a "flexible grid" by reducing the number of linkages or the alignment between roads due to topographical constraints. Due to difficulties with constructing a roadway to safe and economical engineering standards for S 198th Pl, a street modification was issued on June 7, 2011 (Exhibit 15). Therefore, the applicant is not required to complete the grid system as part of the short plat. However, staff recommends as a condition of approval the applicant be required to comply with conditions as outlined in the approved street modification issued on June 7, 2011 (Exhibit 15).</p>
N/A	<p><b>Blocks:</b> Blocks shall be deep enough to allow two tiers of lots.</p> <p><i>Staff Comment:</i> No new blocks would be formed.</p>
✓	<p><b>Alleys:</b> Within the R-4 zone, alley access may be required by the Reviewing Official based on one or more of the following criteria:</p> <ul style="list-style-type: none"> <li>a. Minimum lot widths are reduced; or</li> <li>b. An increase in density is allowed; or</li> <li>c. Alley(s) are present in the surrounding area; or</li> <li>d. If significant trees and/or vegetation are preserved; or</li> <li>e. The clustering of homes is allowed; or</li> <li>f. If site characteristics allow for the effective use of alley(s).</li> </ul> <p><i>Staff Comment:</i> Based on the proposed clustering of the lots, the use of an alley is the preferred method of access. The size of the development is also not conducive to alley access and the use of alleys would have more of a negative impact on the environment than a street pattern without alleys. Due to topographical constraints a street modification was issued waiving the requirement to improvement of S 198<sup>th</sup> Pl, precluding the effective use of an alley.</p>
✓	<p><b>Relationship to Existing Uses:</b> The proposed project is compatible with existing surrounding uses.</p> <p><i>Staff Comment:</i> The properties surrounding the subject site are all single-family residences and are zoned R-8 on the City's zoning maps. The proposal is similar to existing development patterns in the area and is consistent with the Comprehensive Plan and Zoning Code.</p>
<b>6. AVAILABILITY AND IMPACT ON PUBLIC SERVICES:</b>	
✓	<p><b>Police:</b> The Renton Police Department has commented that the proposed project would have minimal impact on police services and has estimated five (5) calls for service annually.</p>
✓	<p><b>Fire:</b> Sufficient resources exist to furnish services to the proposed development, subject to the condition that the applicant provides Code required improvements and fees. The applicant would be required to pay an appropriate Fire Impact Fee. The 2015 fire impact fees are applicable at the rate of \$495.10 per single family unit.</p> <p>The fire flow requirement for a single family home is 1,000 gallons per minute (gpm) minimum for dwellings up to 3,600 SF (including garages and basements). If the dwelling exceeds 3,600 SF, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. There is one existing fire hydrant in this area and it meets</p>

	<p>current code. A water availability certificate is required from Soos Creek Water and Sewer District.</p> <p>Fire department apparatus access roadways are adequate as they exist.</p>
✓	<p><b>Schools:</b> It is anticipated that the Kent School District can accommodate any additional students generated by this proposal. The students would be bussed to the following schools: Springbrook Elementary, Meeker Middle School and Kentridge High School.</p> <p>Students attending Springbrook Elementary is within walking distance; however, there is a bus that travels along Talbot Rd S that would likely pick-up students for this school. The location of the bus stop is different each year as the students change schools. The addition of frontage improvements would assist in improving adequate provisions for safe walking conditions for students who walk to and from school and/or bus stops.</p> <p>A School Impact Fee, based on new single-family lot, will be required in order to mitigate the proposal's potential impacts to Kent School District. The fee is payable to the City as specified by the Renton Municipal Code. The 2015 fee is currently assessed at \$5,486.00 per Ord. No. 5738.</p>
Compliant if Conditions of Approval Met	<p><b>Parks:</b> Although there would be no significant impacts to the City of Renton Park System anticipated from the proposed project, an impact fee is required of all new residential development per Ordinance No. 5670. Park impact fees shall be paid prior to issuance of building permits. This fee is assessed per new single family lot at the rate in place at the time the building permit is issued. As of the date of this report, the fee is \$1,441.29 per dwelling.</p> <p>The applicant would be responsible for constructing a 5-foot wide bike land per the adopted Renton Trails and Bicycle Master Plan (May 11, 2009). As submitted, the sidewalk stops about 10 feet shy of the north property line. Staff is recommending that the applicant complete the half-street frontage improvements along the entire frontage of Talbot Rd S (including across the entire length of Lot 5 and Tract A). Staff recommends as a condition of approval that a revised site improvements plan be submitted to, and approved by, the Current Planning Project Manager and the Plan Reviewer prior to construction permit approval.</p>
✓	<p><b>Stormwater:</b> A Technical Information Report, dated November 14, 2014 was prepared by John R. Tuttle (<i>Exhibit 10</i>) and submitted with the land use application. According to the City of Renton's map in Reference 11-A below, the proposed project area is within the Flow Control Duration Standard (Forested Condition). The applicant's engineer has indicated that flow control is required because the proposed project will add more than 2,000 SF of impervious surface. In fact, the proposed site improvements will add more than 5,000 SF of new impervious surface and will disturb more than 7,000 SF of land. As such, the project will require a full drainage review. This project proposes to infiltrate runoff from proposed roofs areas and pervious concrete driveways with infiltration drywells and infiltration trenches, to ensure that any flow increases from the site to the roadside ditch are minimal (less than 0.1 CFS for the 100-year peak flow rate). The report mentions the project will utilize stormwater sizing credits for flow control by infiltrating roof runoff into drywells and driveway runoff into infiltration trenches per BMP Full Infiltration.</p> <p>Drainage plans and a final drainage report based on the City adopted 2009 King County Surface Water Drainage Manual and City Amendments was submitted with the pervious utility construction permit.</p> <p>The King County Soils Survey classifies onsite soils as Alderwood gravelly sandy loam (AgC), a till soil and City of Renton Soils Survey Map classifies onsite soils as Alderwood gravelly sandy loam (AgD). The existing site shows no sign of erosion from overland sheet flow due</p>

	to heavy vegetative cover.
<b>Compliant if Conditions of Approval Met</b>	<b>Water Service:</b> A water availability certificate has been issued by Soos Creek Water and Sewer District ( <i>Exhibit 12</i> ). An “approved” set of water plans from Soos Creek Water and Sewer District will be required to be submitted with the civil plans.
<b>Compliant if Conditions of Approval Met</b>	<b>Sanitary Sewer Service:</b> A sewer availability certificate has also been issued by Soos Creek Water and Sewer District ( <i>Exhibit 13</i> ). An “approved” set of sewer plans from Soos Creek Water and Sewer District will be required to be submitted with the civil plans.
<b>Compliant if Conditions of Approval Met</b>	<b>Transportation:</b> The proposed short plat is also anticipated to generate additional traffic on the City’s street system, due to increase vehicle trips to and from the proposed project. The applicant would be required to pay an appropriate Transportation Impact Fee in order to mitigate transportation impacts. Currently, this fee is assessed at \$2,214.44 per net new single family home ( $5 \times \$2,214.44 = \$11,072.2$ ). This fee is payable to the City at the time of building permit issuance.

#### **H. FINDINGS:**

Having reviewed the written record in the matter, the City now enters the following:

- 1. Request:** The applicant is requesting an Administrative Short Plat in order to subdivide a 50,398 square foot parcel, into five (5) single family lots and two open space tracts suitable for development with five (5) single-family residential structures. The proposal would result in a density of 4.4 dwelling units per net acre.
- 2. Application:** The property, located at 197XX Talbot Road South (APN 793100-0058), is owned by Michael & Laura Skagen. The application was submitted on January 20, 2015 and determined complete on January 26, 2015.
- 3. Comprehensive Plan:** The property has a Comprehensive Plan land use designation of Residential Low Density (RLD). The proposed project furthers the objectives and policies of the RLD section of the Land Use Element of the Comprehensive Plan. The objectives and policies of the Community Design Element are also supported by the project as it has been proposed.
- 4. Zoning:** Objectives and policies of the RLD designation are implemented by standards and regulations of the Residential-4 zone. The project, as proposed with cluster development, meets or exceeds the R-8 interim zone standards and regulations, including open space, gross lot size, lot width, and lot depth.
- 5. Subdivision Regulations:** The short plat, as proposed, would meet the requirements of RMC 4-7 Subdivision Regulations.
- 6. Existing Land Uses:** The site is vacant.
- 7. Setbacks:** Minimum setback requirements would be verified at the time of building permit review.
- 8. System Development Charges:** As of the date of this report, the Surface Water System Development Fee for new single family residential is \$1,350.00 per new lot.
- 9. Public Utilities:** Impacts to public services are assessed on a single-family dwelling basis at the impact fee rate in place at the time the construction permit is issued. There are sufficient services available to serve the proposed plat.
- 10. Schools:** The project site is located within the Kent School District (KSD) which encompasses approximately 72 square miles. Students would attend Springbrook Elementary, Meeker Middle School, and Kentridge High School. Each of these schools is within 2.5 miles from the property. KSD has



indicated they would be able to handle the impact of the additional students estimated to come from the proposed development.

- 11. Governing Ordinances:** The City ordinances governing the development of land up to and including adopted Ordinance No. 5737.
- 12. Safe Routes to Schools:** The Kent School District will bus all students to and from their respective schools and there is an identified safe walking route to the school bus stop.

#### **I. CONCLUSION:**

1. The subject site is designated **Residential Low Density (RLD)** in the Comprehensive Land Use Plan and complies with the goals, objectives, and policies established with this designation.
2. The subject site is zoned **Residential 4 (R-4)** and complies with the zoning and development standards established with this designation, provided the applicant complies with the Renton Municipal Code, and conditions of approval.
3. The proposed use, with small lot cluster development, is anticipated to be compatible with existing and future surrounding uses as permitted in the R-4 zoning classification, provided the conditions are complied with.
4. Staff does not anticipate any adverse impacts on surrounding properties and uses as long as the conditions of approval are complied with.
5. The proposed 5-lot short plat complies with the subdivision regulations as established by City Code and state law provided all advisory notes and conditions are complied with.
6. The proposed Skagen 5-Lot Short Plat complies with the subdivision regulations and street standards as established by City Code and state law, provided the project complies with the approved shared driveway standard deviation, street modification, and all advisory notes and conditions of approval contained herein.
7. Safe and efficient access and circulation has been provided for all users.
8. There are adequate public services and facilities to accommodate the proposed short plat.
9. A safe pedestrian bus route is available between the project site and the schools.

#### **J. DECISION:**

The **Skagen 5-Lot Short Plat**, File No. LUA15-000024, SHPL-A is **approved** and subject to the following conditions:

1. The applicant shall be required to comply with conditions as outlined in the approved street modification issued on June 7, 2011 (*Exhibit 15*).
2. The applicant shall be required to limit the number of access points to no more than three (3) curb cuts from the 5-lot short plat to Talbot Rd S; two shared driveways and one single driveway with a corresponding note on the face of the plat. Mutual access easements shall serve Lots 1 & 2 and Lots 3 & 4. Access easements shall be granted and conveyed to the lot owners at the time of sale.
3. The applicant shall be required to complete half-street frontage improvements along the entire frontage of Talbot Rd S. A revised site improvements plan shall be submitted to, and approved by, the Current Planning Project Manager and the Plan Reviewer prior to construction permit approval.

4. The applicant shall move all retaining walls at least three (3) feet behind the public right-of-way. A revised landscaping plan shall be submitted to, and approved by, the Current Planning Project Manager prior to construction permit approval.
5. The applicant shall maintain a five-foot (5') driveway separation from any property line before constructing a driveway at the maximum 15% grade on Lot 5.
6. The applicant shall provide a driveway cross-section, not exceeding 15% grade, with the building permit application for Lot 5.
7. The applicant shall revise the landscaping plan to include a 10-foot landscaping strip along the rear portion of Lot 5 which shall be placed in an easement with a corresponding note on the face of the plat. Alternatively, the applicant may elect to revise the short plat to connect both Tract A and Tract B such that there is a minimum of 10-foot separation between Lot 5 and the property line to the east.

**DATE OF DECISION ON LAND USE ACTION:****SIGNATURE:***Jennifer Henning, Planning Director**Department of Community & Economic Development**3/31/2015*  
Date

TRANSMITTED this 31st day of March, 2015 to the Contact/Applicant/Owner(s):

## Contact:

*Phillip Kitzes  
PK Enterprises  
23035 SE 263<sup>rd</sup> St  
Maple Valley, WA 98038*

## Applicant/Owner:

*Mikael & Laura Skagen  
12050 SE 178th St  
Renton, WA 98058*

TRANSMITTED this 31st day of March, 2015 to the Party(ies) of Record:

*Marvin Bennett  
9607 S 198th Pl  
Renton, WA 98055**Renee Bystedt  
18428 Talbot Rd S  
Renton, WA 98055**Gabriel & Lucia Albut  
19901 97th Ave S  
Renton, WA 98055**William Plant  
9600 S 198th Pl  
Renton, WA 98055**Norm & Tovi Harris  
19924 97th Ave S  
Renton, WA 98055**Mark Kaminsky  
19801 97th Ave S  
Renton, WA 98055**Catherine Springer  
19803 97th Ave S  
Renton, WA 98055**Ruth Ann Bennett  
9601 S 198th Pl  
Renton, WA 98055**Marcus Bennett  
9607 S 198th Pl  
Renton, WA 98055**Patrick & Patty Turpin  
19908 97th Ave S  
Renton, WA 98055**Juli Moore  
19916 97th Ave S  
Renton, WA 98055**DeAnna & Mike White  
19911 97th Ave S  
Renton, WA 98055**Karla Hagemier  
19925 97th Ave S  
Renton, WA 98055**Pat & Carl Haas  
19807 97th Ave S  
Renton, WA 98055**Donna & Jeff Stephens  
19834 97th Ave S  
Renton, WA 98055*

Report of March 31, 2015

Page 17 of 17

Irene Tappero  
19920 97th Ave S  
Renton, WA 98055

Patrick Hearron  
19917 97<sup>th</sup> Ave S  
Renton, WA 98055

TRANSMITTED this 31st day of March, 2015 to the following:

C.E. "Chip" Vincent, CED Administrator  
Steve Lee, Development Engineering Manager  
Jan Conklin, Development Services  
Carrie Olson, Development Services  
Craig Burnell, Building Official  
Vanessa Dolbee, Current Planning Manager  
Fire Marshal  
Renton Reporter

**K. LAND USE ACTION APPEALS, REQUEST FOR RECONSIDERATION, & EXPIRATION:**

The administrative land use decision will become final if the decision is not appealed within 14 days of the decision date.

**APPEAL:** This administrative land use decision will become final if not appealed in writing to the Hearing Examiner on or before 5:00 PM on April 14, 2015. An appeal of the decision(s) must be filed within the 14-day appeal period (RCW 43.21.C.075(3); WAC 197-11-680). Renton Municipal Code Section 4-8-110.B governs appeals to the Hearing Examiner. Appeals must be filed in writing together with the required fee to the Hearing Examiner, City of Renton, 1055 South Grady Way, Renton, WA 98057. Additional information regarding the appeal process may be obtained from the City Clerk's Office, Renton City Hall - 7th Floor, (425) 430-6510.

**EXPIRATION:** The administrative short plat decision will expire two (2) years from the date of decision. A single one (1) year extension may be requested pursuant to RMC 4-7-070.M.

**RECONSIDERATION:** Within 14 days of the decision date, any party may request that the decision be reopened by the approval body. The approval body may modify his decision if material evidence not readily discoverable prior to the original decision is found or if he finds there was misrepresentation of fact. After review of the reconsideration request, if the approval body finds sufficient evidence to amend the original decision, there will be no further extension of the appeal period. Any person wishing to take further action must file a formal appeal within the 14-day appeal time frame.

**THE APPEARANCE OF FAIRNESS DOCTRINE:** provides that no ex parte (private one-on-one) communications may occur concerning the land use decision. The Doctrine applies not only to the initial decision, but to Appeals to the Hearing Examiner as well. All communications after the decision/approval date must be made in writing through the Hearing Examiner. All communications are public record and this permits all interested parties to know the contents of the communication and would allow them to openly rebut the evidence in writing. Any violation of this doctrine could result in the invalidation of the appeal by the Court.



# EXHIBIT 2

King County  
Dept of Assessments

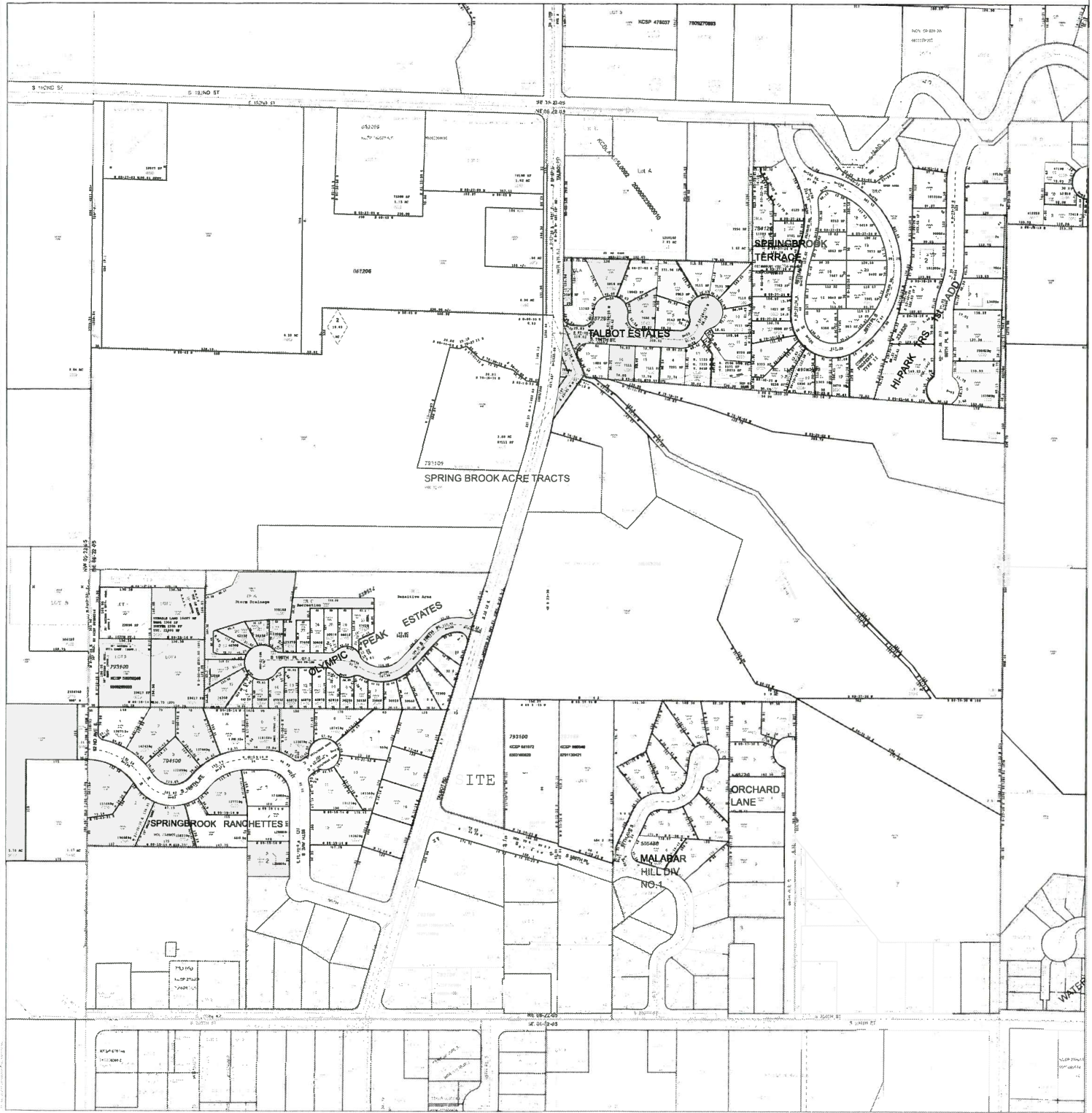
Control  
Right of Way  
Plat  
Short Plat  
Original Plat  
Parcel  
List  
Easement  
Survey  
Government Lot  
Hwy  
Donation/Land Claim  
Proposed  
Parcel  
Platted Major Number  
City

The information indicated on this map has been submitted to the City of Seattle and is subject to change without notice. The City of Seattle is not responsible for any errors or omissions, or for any consequences arising from the use of the information. The City of Seattle is not responsible for any errors or omissions, or for any consequences arising from the use of the information. The City of Seattle is not responsible for any errors or omissions, or for any consequences arising from the use of the information.



NE 06-22-05

1 inch = 100 feet  
Date: 1/8/2014



NE 1/4, SEC. 6, TWP. 22N., RGE. 5E., W.M.

SKAGEN

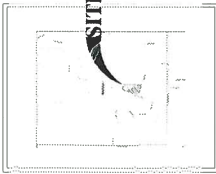
PROJECT NAME

SURVEY NOTES

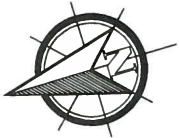
DATUM  
BASE OF BEARINGS: HELD 140°14'25" BETWEEN CITY OF RENTON CONTROL POINTS #1872 & #144 CONIC MONUMENT DOWN 1.0' IN CASE AT THE INTERSECTION OF S. 192ND STREET AND 99TH PLACE S. MONUMENTS ARE 1/4" DIA. BRASS DISCS WITH A PUNCH 0.4" DOWN IN CASE. A 1-1/4" DIA. DOMED BRASS DISC WITH A PUNCH 0.4" DOWN IN CASE. AT THE INTERSECTION OF SE 200TH STREET AND 100TH AVE. S.E.  
HORIZONTAL DATUM: NAD 83/91, WA NORTH "GROUND"  
ORIGINATING BENCHMARK:  
HELD CITY OF RENTON CONTROL POINT #1927, A KING COUNTY MONUMENT, 1/4" DIA. BRASS DISC WITH A PUNCH 0.4" DOWN IN CASE, SOUTH OF CENTERLINE OF 192ND STREET.  
VERTICAL DATUM: NAVD '88  
ELEVATION: 127.70'  
TBM #1 = CHISEL "X" ON SW TOP BONNET BOLT OF FIRE HYDRANT EAST SIDE OF TALBOT ROAD, APPROXIMATELY 45' NORTH OF CENTERLINE OF TALBOT ROAD, APPROXIMATELY 19' SOUTH AND 55' WEST OF PROPERTY CORNER.  
ELEVATION: 127.32'  
TBM #2 = TOP OF BULL ON SDOH #133, WEST SIDE OF TALBOT ROAD, APPROXIMATELY 19' SOUTH AND 55' WEST OF NORTHEAST PROPERTY CORNER.  
ELEVATION: 127.32'  
COMBINED SCALE FACTOR:  
MULTIPLY BY A COMBINED SCALE FACTOR = 0.99999188829  
LEGAL DESCRIPTION  
LOT 1, KING COUNTY SHORT PLAT NUMBER 1182939 (GENSON) RECORDED UNDER RECORDING NUMBER 860700588, IN KING COUNTY, WASHINGTON.  
(PER TITLE REPORT BY FIRST AMERICAN TITLE COMPANY DATED AUGUST 5, 2011 AT 7:30 A.M.)

GENERAL NOTES

UTILITY LOCATIONS SHOWN HEREON ARE BASED UPON AGRICULTURAL FIELD LOCATION OF EXISTING STRUCTURES, FIELD LOCATION OF UTILITIES BASED ON LOCATOR PAINT MARKINGS AND LOCATIONS BASED ON REPORTED UTILITY INSTALLATIONS. OTHER UTILITIES MAY EXIST. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THE LOCATIONS AND THE ROUTING OF ALL BURIED UTILITIES SHOULD BE CONFIRMED WITH THE UTILITY PURVEYOR AND EXPOSED IN AREAS CRITICAL TO DESIGN FOR VERIFICATION.  
PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS SHOWN HEREON ARE BASED UPON FIELD SURVEY TECHNIQUES USING LEICA SYSTEM 1200 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING SURVEY TECHNIQUES ARE BASED ON FIELD SURVEY DATA. THE UTILITIES LEICA ELECTRONIC 1103 TOTAL STATIONS FOR THE SURVEY WERE CALIBRATED AND ADJUSTED TO MEET THE STANDARD MEETS OR EXCEEDS THE STANDARDS SET BY WAC 332-330-090.  
EVIDENCE OF OCCUPATION OF LAND (FOR EXAMPLE, FENCES, STRUCTURES, PAVING, GRAVELED SURFACES, ETC.) MAY NOT CONFORM WITH THE DEEDED BOUNDARY LINES AS SHOWN ON THIS SURVEY. THE DEEDED BOUNDARY LINES ARE BASED ON THE SURVEY AND HAVE DISCREPANCIES BETWEEN THE DEEDED BOUNDARY LINES AND ANY EVIDENCE OF OCCUPATION. WHERE DISCREPANCIES EXIST, THE SURVEYOR'S FIELD NOTES AND THIS SURVEY DRAWING SHALL BE CONSULTED WITH LEGAL COUNSEL TO DETERMINE HOW BEST TO PROTECT THE PROPERTY RIGHTS AND ADDRESS ANY POTENTIAL BOUNDARY DISPUTES.



VICINITY MAP  
SITE ADDRESS:  
S. 192nd Pl & Talbot Rd S  
Renton, WA 98055



SCALE: 1"=40'  
0 15 30 45

PROJECT DATA

SITE ADDRESS:  
S. 192nd Pl & Talbot Rd S  
Renton, WA 98055  
PARCEL No.: 793100-0058  
ZONING: R-4  
EXISTING SITE AREA: 50,398 SF  
PROPOSED DWELLING UNITS: 5

CONTACT DATA

OWNER/DEVELOPER:  
PK Enterprises  
12550 SE 178th Street  
Renton, WA 98058  
(206) 227-7443  
PLANNER:  
PK Enterprises  
12550 SE 178th Street  
Renton, WA 98058  
(206) 227-7443

SURVEYOR:  
AKS Survey & Mapping  
13005 NE 126th Pl  
Arden, WA 98004  
Fax: (425) 823-6700  
Cell: (425) 823-6700

CIVIL ENGINEER:  
Tuttle Engineering And Management  
275 West Rio Vista Avenue, Suite 1  
Bellingham, WA 98233  
360-899-5953 Office  
360-899-5953 Cell

LANDSCAPE ARCHITECT:  
Lemne Kohlenstein, RLA #743  
10000 1st Avenue, Suite 100  
Spanaway, WA 98387  
(253) 335-9869

SHEET INDEX

PP-01 \*\*\* COVER SHEET & EXISTING FEATURES  
PP-02 \*\*\* LOT LAYOUT  
PP-03 \*\*\* TREE RETENTION PLAN  
PP-04 \*\*\* LANDSCAPE PLAN  
PP-05 \*\*\* LANDSCAPE DETAILS & NOTES

NOTE:

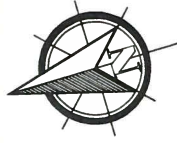
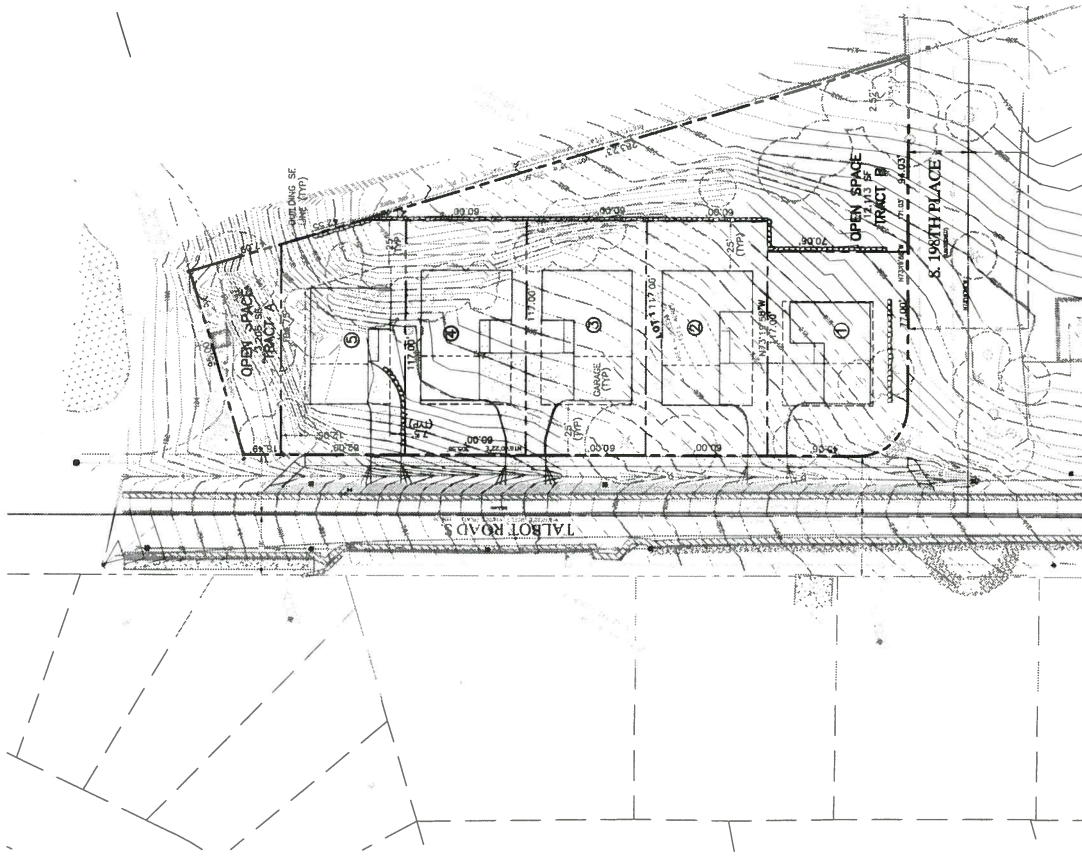
UTILITIES ARE APPROXIMATE ONLY. CALL 800-4-A-UTILITY BEFORE DIGGING. A POT-HOLE UNKNOWN EX. UTILITIES BEFORE CONSTRUCTION BEGINS.

NO.		REVISION		BY	DATE	APPROVED
1						
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NE 1/4, SEC. 6, TWP. 22N., RGE. 5E., W.M.

SKAGEN

PROJECT NAME



**SMALL CLUSTER CALCULATION:**

TOTAL AREA (SITE) = 50,398 SQUARE FEET  
AREA IN OPEN SPACE REQUIRED (30%) = 15,119 SQUARE FEET  
AREA IN OPEN SPACE SHOWN = 15,318 SQUARE FEET  
PERCENTAGE OF OPEN SPACE = 30%

NOTE: PER CHAPTER 4, CITY OF RENTON CITY-WIDE DEVELOPMENT STANDARDS, SECTION 4-2-100, NUMBER 10, SMALL LOT CLUSTERS ARE PERMITTED WHERE THE PERCENTAGE OF OPEN SPACE REQUIRED (30%) OF THE SITE IS PERMANENTLY SET ASIDE AS "SIGNIFICANT OPEN SPACE". IN THE EVENT THERE IS A SMALL LOT CLUSTER DEVELOPMENT, R-8 STANDARDS APPLY. THIS PROJECT COMPLIES WITH THIS DEVELOPMENT STANDARD.

**ZONING INFORMATION FOR PLAT:**

FRONT YARD SETBACK = 25 FEET  
SIDE YARD SETBACK = 7.5 FEET  
SIDE YARD STREET SETBACK = 17.5 FEET  
REAR YARD SETBACK = 25 FEET  
MINIMUM LOT WIDTH, INTERIOR = 60 FEET  
MINIMUM LOT WIDTH, CORNER = 70 FEET  
MINIMUM LOT SIZE = 7,000 SQUARE FEET  
MINIMUM LOT DEPTH = 90 FEET

**LOT AREA TABLE**

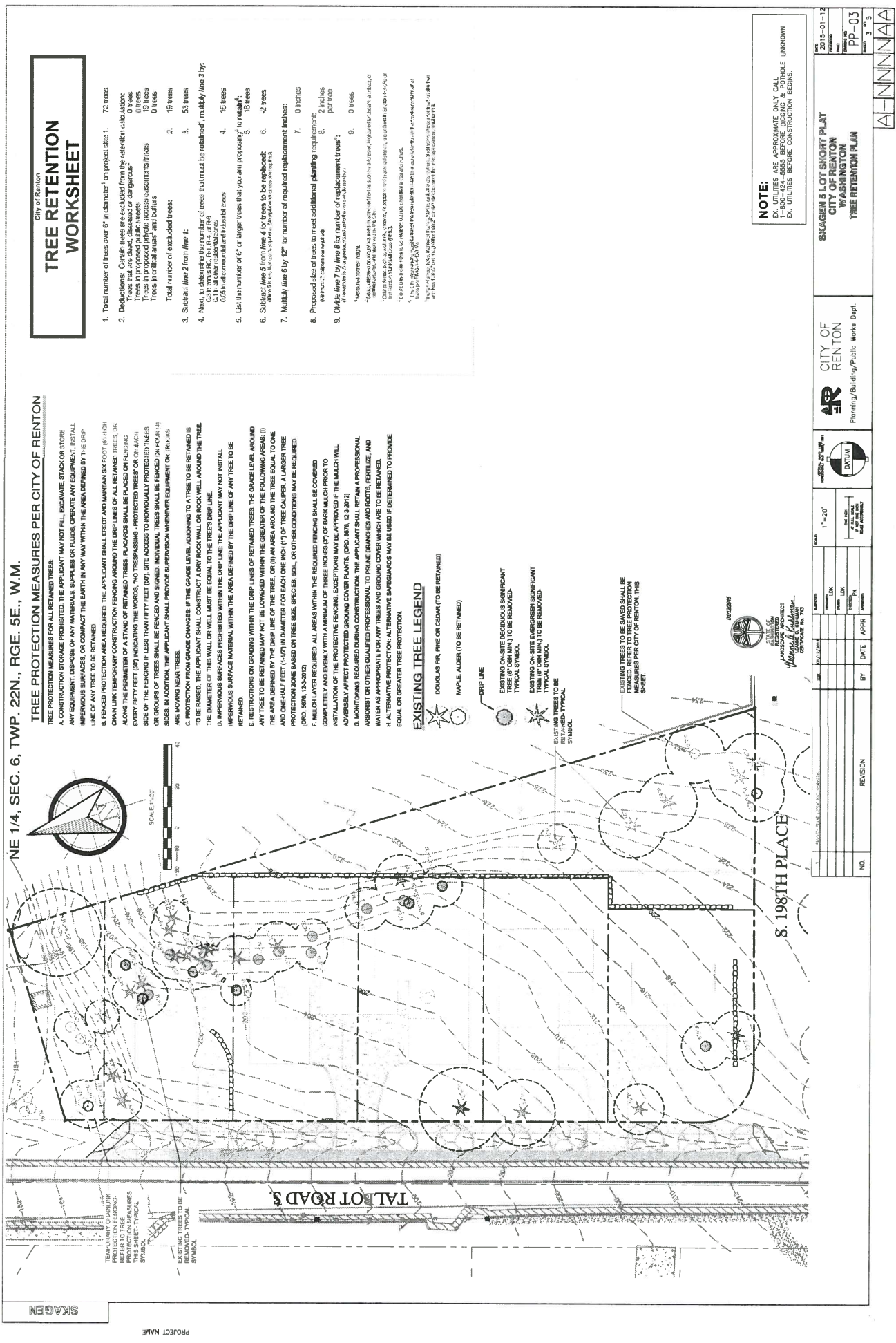
LOT 1: 7,012 TOTAL LOT AREA (SF)  
6,762 NET LOT AREA (SF)\*  
LOT 2: 7,020 TOTAL LOT AREA (SF)  
6,770 NET LOT AREA (SF)\*  
LOT 3: 7,020 TOTAL LOT AREA (SF)  
6,770 NET LOT AREA (SF)\*  
LOT 4: 7,020 TOTAL LOT AREA (SF)  
6,770 NET LOT AREA (SF)\*  
LOT 5: 7,005 TOTAL LOT AREA (SF)

\*NET LOT AREA = TOTAL LOT AREA - DRIVEWAY AREA

2015-01-12		2015-01-12	
PP-02		PP-02	
2 of 5		2 of 5	
ALNNNNAA		ALNNNNAA	
SKAGEN 5 LOT SHORT PLAT		SKAGEN 5 LOT SHORT PLAT	
CITY OF RENTON		CITY OF RENTON	
WASHINGTON		WASHINGTON	
LOT LAYOUT		LOT LAYOUT	
CITY OF RENTON		CITY OF RENTON	
Planning/Building/Public Works Dept.		Planning/Building/Public Works Dept.	
DATE		DATE	
BY		BY	
APPROVED		APPROVED	
REVISION		REVISION	
NO.		NO.	

EXHIBIT 4





NE 1/4, SEC. 6, TWP. 22N., RGE. 5E., W.M.

### TREE PROTECTION MEASURES PER CITY OF RENTON

- TREE PROTECTION MEASURES FOR ALL RETAINED TREES:
- A. CONSTRUCTION STORAGE PROHIBITED: THE APPLICANT MAY NOT FILL, BROADCAST, STACK OR STORE ANY EQUIPMENT, DISPOSE OF ANY MATERIALS, SUPPLIES OR FLUIDS, OPERATE ANY EQUIPMENT, INSTALL IMPERVIOUS SURFACES, OR COMPACT THE EARTH IN ANY WAY WITHIN THE AREA DEFINED BY THE DRIP LINE OF ANY TREE TO BE RETAINED.
- B. FENCED PROTECTION AREA REQUIRED: THE APPLICANT SHALL ERECT AND MAINTAIN SIX FOOT (6') HIGH CHAIN LINK TEMPORARY CONSTRUCTION FENCING AROUND THE DRIP LINES OF ALL RETAINED TREES ON AROUND THE PERIMETER OF A STAKE OF RETAINED TREES. PLACEMENT SHALL BE PLACED ON FENCING EVERY FIFTY FEET (50') INDICATING THE WORDS, "NO TRESPASSING - PROTECTED TREES" ON EACH SIDE OF THE FENCING IF LESS THAN FIFTY FEET (50') SITE ACCESS TO INDIVIDUALLY PROTECTED TREES OR GROUPS OF TREES SHALL BE FENCED AND SIGNED. INDIVIDUAL TREES SHALL BE FENCED ON (4'x14') SIDES IN ADDITION. THE APPLICANT SHALL PROVIDE SUPERVISION WHENEVER EQUIPMENT OR TRUCKS ARE MOVING NEAR TREES.
- C. PROTECTION FROM GRADE CHANGES: IF THE GRADE LEVEL ADJOINING TO A TREE TO BE RETAINED IS TO BE LOWERED, THE APPLICANT SHALL CONSTRUCT A SIX FOOT TALL WALL OR ROCK WALL AROUND THE TREE. THE DRAINAGE OF THIS WALL OR WALL MUST BE TO THE STREET OR TO THE STREET DRAINAGE.
- D. IMPERVIOUS SURFACES PROHIBITED WITHIN THE DRIP LINE: THE APPLICANT MAY NOT INSTALL IMPERVIOUS SURFACE MATERIAL WITHIN THE AREA DEFINED BY THE DRIP LINE OF ANY TREE TO BE RETAINED.
- E. RESTRICTIONS ON GRADING WITHIN THE DRIP LINES OF RETAINED TREES: THE GRADE LEVEL AROUND ANY TREE TO BE RETAINED MAY NOT BE LOWERED WITHIN THE GREATER OF THE FOLLOWING AREAS: (I) THE AREA DEFINED BY THE DRIP LINE OF THE TREE OR (II) AN AREA AROUND THE TREE EQUAL TO ONE AND ONE-HALF FEET (1-1/2') IN DIAMETER FOR EACH ONE INCH (1") OF TREE CALIPER. A LARGER TREE PROTECTION ZONE BASED ON TREE SIZE, SPECIES, SOIL, OR OTHER CONDITIONS MAY BE REQUIRED. (ORD. 8678, 12-3-2012)
- F. MULCH LAYER REQUIRED: ALL AREAS WITHIN THE REQUIRED FENCING SHALL BE COVERED COMPLETELY AND EVENLY WITH A MINIMUM OF THREE INCHES (3") OF BARK MULCH PRIOR TO INSTALLATION OF THE PROTECTIVE FENCING. EXCEPTIONS MAY BE APPROVED IF THE MULCH WILL ADVERSELY AFFECT PROTECTED GROUND COVER PLANTS. (ORD. 8678, 12-3-2012)
- G. MONITORING REQUIRED DURING CONSTRUCTION: THE APPLICANT SHALL RETAIN A PROFESSIONAL ARBORIST OR OTHER QUALIFIED PROFESSIONAL TO PRUNE BRANCHES AND ROOTS, FERTILIZE, AND WATER AS APPROPRIATE FOR ANY TREES AND GROUND COVER WHICH ARE TO BE RETAINED.
- H. ALTERNATIVE PROTECTION: ALTERNATIVE SAFEGUARDS MAY BE USED IF DETERMINED TO PROVIDE EQUAL OR GREATER TREE PROTECTION.

### EXISTING TREE LEGEND

- DOUGLAS FIR, PINE OR CEDAR (TO BE RETAINED)
- MAPLE, ALDER (TO BE RETAINED)
- DRIP LINE
- EXISTING ON-SITE DECIDUOUS SIGNIFICANT TREE (6" DBH MIN.) TO BE REMOVED
- EXISTING ON-SITE EVERGREEN SIGNIFICANT TREE (6" DBH MIN.) TO BE REMOVED
- EXISTING TREES TO BE SAVED SHALL BE FENCED REFER TO TREE PROTECTION SHEET FOR CITY OF RENTON, THIS SHEET.

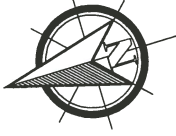
**NOTE:**  
EX. UTILITIES ARE APPROXIMATE ONLY. CALL EX. UTILITIES BEFORE CONSTRUCTION BEGINS.

### TREE RETENTION WORKSHEET

1. Total number of trees over 6" in diameter on project site: 1. 72 trees
2. Details: Outside trees are excluded from the retention calculation. Trees that are dead, diseased or damaged. Trees in proposed public easements. Trees in proposed utility easements. Trees in proposed building footprints. Trees in proposed parking areas. Trees in proposed streets and boulevards.
3. Subtract line 2 from line 1: 53 trees
4. Next, to determine the number of trees that must be retained, multiply line 3 by:  
a. 1.0 for all trees (substantially equal to 1.0)  
b. 0.5 for all trees (substantially equal to 0.5)
5. List the number of 6" or larger trees that you are proposing to retain: 16 trees
6. Subtract line 5 from line 4 for trees to be replaced: 37 trees
7. Multiply line 6 by 12" for number of required replacement trees: 444 trees
8. Proposed size of trees to meet additional planting requirement:  
a. 2 inches per foot  
b. 2 inches per foot
9. Divide line 7 by line 8 for number of replacement trees: 37 trees
10. Total number of trees to be retained: 53 trees
11. Total number of trees to be replaced: 37 trees
12. Total number of trees to be retained and replaced: 90 trees

NO.	REVISION	BY	DATE	APPR

DATE: 11-15-2015  
SCALE: 1"=20'  
SHEET: 3 OF 5  
PROJECT: SKAGEN 5 LOT SHORT PLANT  
CITY OF RENTON  
WASHINGTON  
TREE RETENTION PLAN  
PLANNING/BUILDING/PUBLIC WORKS DEPT.



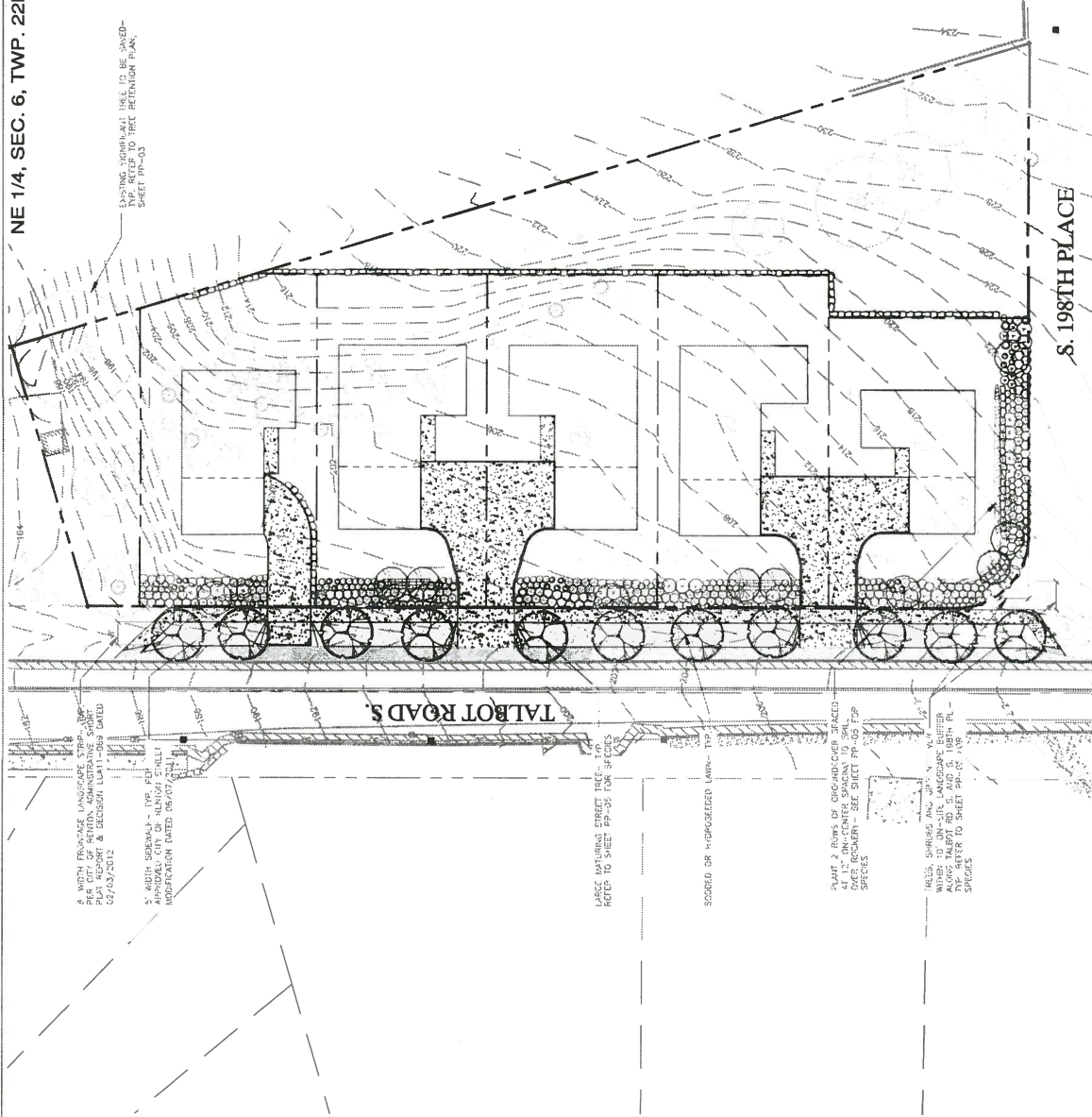
## PROJECT NAME

**FIELDWORK**

- 01/22/2015
- 
- STATE OF  
WISCONSIN  
REGISTERED  
LANDSCAPE ARCHITECT
- Harvey D. Kuhlman*  
Landscape Architect  
CERTIFICATE NO. 743

EX. UTILITIES ARE APPROXIMATE ONLY CALL  
1-800-424-5555 BEFORE DIGGING & POTHOLE UNKNOWN  
EX. UTILITIES BEFORE CONSTRUCTION BEGINS.

**\*\*APPLICANT ELECTS TO PROVIDE 100% DROUGHT TOLERANT PLANT MATERIAL FOR IRRIGATION EXEMPTION AS DESCRIBED ABOVE; RMC 4-4-070(C)(2). REFER TO SHEET PP-05 FOR DROUGHT TOLERANT PLANT LEGEND.**



S. 198TH PLACE

[illegible]

Planning/Bu

CITY OF  
RENTON  
Building/Public Works

**SKAGEN 5 LOT SHORT PLAY  
CITY OF RENTON  
WASHINGTON  
LANDSCAPE PLAN**

DATE	2015-01-12
FILE NO.	
PAGE	
CHART NO.	PP-04
SIZE	4 in 5



NE 1/4, SEC. 6, TWP. 22N., RGE. 5E., W.M.

SKAGEN

8' WIDTH TALBOT ROAD S. FRONTAGE PLANTER STRIP LEGEND

SYMBOL	BOTANICAL COMMON NAME	SIZE	QUANTITY	COMMENTS
	2' CAL.	11		FULL BALANCED BRANCHING B&B (LARGE TREE PER COR APPROVED STREET TREE L.67)
	SODDED LAWN BY JB INSTANT LAWN OR EQUAL			

10' WIDTH ON-SITE PLANTER STRIP PLANT LEGEND / TOTAL LANDSCAPED AREA = 3,443 S.F. (ALL PROPOSED SPECIES ARE DROUGHT TOLERANT)

SYMBOL	BOTANICAL COMMON NAME	SIZE	QUANTITY	COMMENTS
	Cornus kousa / CHINESE DOGWOOD	1" CAL.	6	FULL, VIGOROUS, MOD. DROUGHT TOL.
	Elyria japonica / JAPANESE NOBEL	2" CAL.	4	FULL, VIGOROUS, MOD. DROUGHT TOL.
	Hydrangea quercifolia / OAKLEAF HYDRANGEA	5 GALLON	16	FULL, 4' MIN. HEIGHT, MOD. DROUGHT TOL.
	Cornus sericea / FLAMINGO	5 GALLON	17	FULL, 4' MIN. HEIGHT, MOD. DROUGHT TOL.
	Lavandula angustifolia / ENGLISH LAVENDER	5 GALLON	19	FULL, 4' MIN. HEIGHT, BUENT, HIGH DROUGHT TOL.
	Viburnum davidii / DAVID'S VIBURNUM	5 GALLON	34	FULL, 4' MIN. HEIGHT, BUENT, HIGH DROUGHT TOL.
	Penstemon alpinus / MOUNTAIN PENSILEN	5 GALLON	18	FULL, 4' MIN. HEIGHT, VIGOROUS, HIGH DROUGHT TOL.
	Spiraea double flycatcher / DOUBLE FLAT ARTIST SPIRAEA	5 GALLON	98	FULL, 4' MIN. HEIGHT, VIGOROUS, HIGH DROUGHT TOL.
	Helianthus glaucus / COMPACT BLUE PEACOCK	2 GALLON	40	FULL, BUENT, HIGH DROUGHT TOL.
	Artemisia fontinalis / FOUNTAIN CASTLE ARTEMISIA	2 GALLON	14	FULL, VIGOROUS, HIGH DROUGHT TOL.
	Liriodendron tulipifera / GRACE WARD	2 GALLON	18 REGD	17' OC. TRUNKS, BP. HIGH DROUGHT TOL.
	Thuja occidentalis / KUNNINGK	2 GALLON	18 REGD	24' OC. TRUNKS, BP. CONTINUOUS WITH THE FIRST ROW STARTING NO MORE THAN 8' FROM EDGE OF SIDEWALK OR EDGE OF ROAD, HIGH DROUGHT TOL.

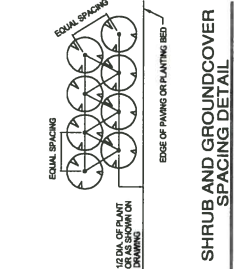
LANDSCAPE NOTES

- DO NOT DIG BEFORE LOCATING UTILITIES.
- LANDSCAPE INCLUDING TREES, TO WITHIN 10' WITH FOOT PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- SUBGRADE SHALL BE SCARIFIED OR ROTOTILLED IF CONDITIONS REQUIRE.
- APPLY 6" DEPTH TYPICAL 3-WAY TOPSOIL IN ALL PLANTING AREAS OR AS OTHERWISE NOTED.
- APPLY 3" DEPTH REDUCED-COMPACTION GRADE BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, SANDUST, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT MAY ADJUST PLANT QUANTITIES OR VARIETIES BASED ON AVAILABILITY OF FIELD CONDITIONS.
- ALL PLANT MATERIAL SHALL BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- ALL PLANT MATERIAL SHALL CONFORM TO AIA STANDARD FOR NURSERY STOCK, LATEST EDITION.
- ALL PLANT MATERIALS SHALL HAVE TRIANGULAR SPACING, WHERE THERE ARE PLANTINGS ABOUT A HARD EDGE BEGIN FIRST ROW WITHIN 8' OF HARD EDGE.
- ALL PLANTINGS ARE CONTINUOUS THROUGHOUT PLANTING BED. IF NO SYMBOL IS SHOWN, REFER TO PLANT NOTE AND/OR PLANT LEGEND.
- ALL PLANTINGS ARE CONTINUOUS THROUGHOUT PLANTING BED. IF NO SYMBOL IS SHOWN, REFER TO PLANT NOTE AND/OR PLANT LEGEND.
- SPACING OF PLANT LEGEND SUPERSEDES SYMBOLS SHOWN ON PLANT. CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- STREET TREE LOCATIONS AND QUANTITIES ARE APPROXIMATE AND SHALL BE ADJUSTED PER FINAL DRIVEWAY AND UTILITY LOCATIONS.
- ALL TREE PIT 18" SHALL BE INFECTED TO INSURE PROPER DRAINAGE. PLANTING IN HEAVY SOILS REQUIRES ADDITIONAL DRAINAGE PROVISION. SEE TREE PLANTING DETAIL THIS SHEET.
- STREET TREES SHALL HAVE UNIFORM BRANCHING HEIGHT OF 6-12' MINIMUM ABOVE GRADE OR AS OTHERWISE NOTED.
- STREET TREES NEAREST INTERSECTIONS SHALL CONFORM TO LOCAL DISTANCE REQUIREMENTS.
- INDIVIDUAL HOMEOWNERS ARE RESPONSIBLE FOR WATERING THE STREET TREES AND PLANTINGS IN THEIR LOTS.
- CONTRACTOR AGREES TO WARRANTY AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON. PAST INSTALLATION AND SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD WITH NO OBLIGATION TO THE OWNER.
- ALL TREES SHALL BE DOUBLE STAGED AS SHOWN ON THE DETAILS. TREES TO BE REMOVED AFTER ONE FULL GROWING SEASON. TREES THAT HAVE DIED WITHIN THE ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-STAGED PER DETAIL AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER.

SHRUB AND GROUND COVER SPACING DETAIL



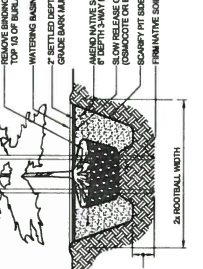
DECIDUOUS TREE PLANTING & STAKING DETAIL



SHRUB AND GROUND COVER SPACING DETAIL



CONIFEROUS TREE PLANTING & STAKING DETAIL



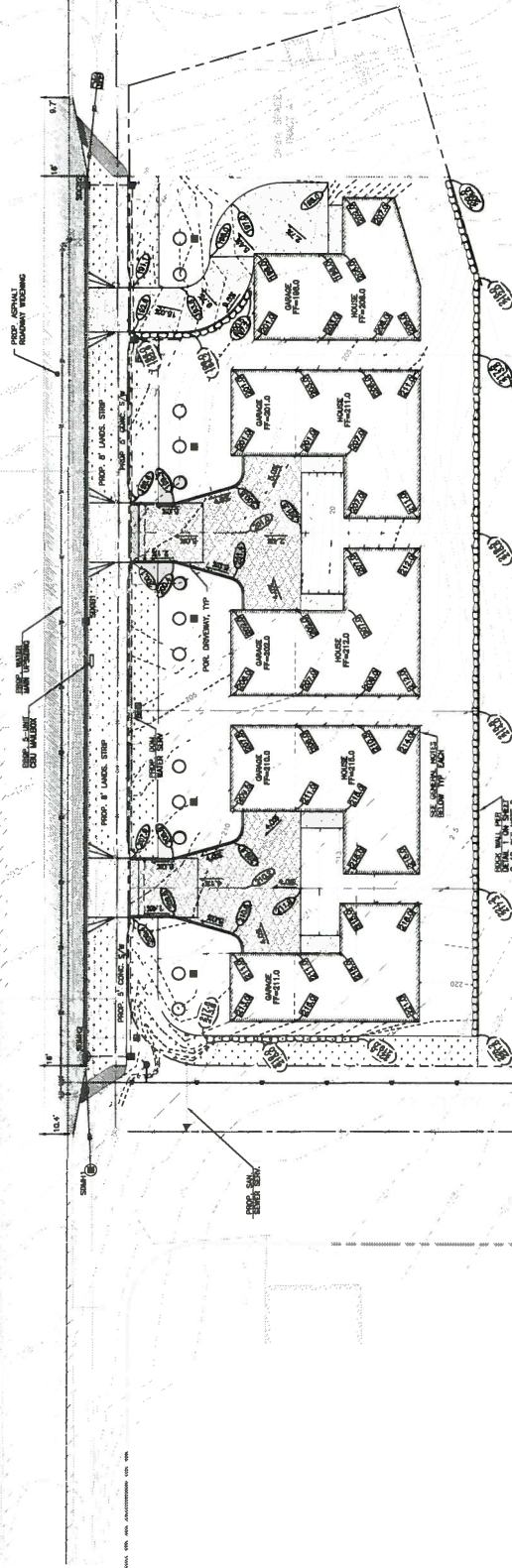
SHRUB PLANTING DETAIL



2015-01-12		2015-01-12	
PP-05		PP-05	
5		5	
A-N-N-N-N-A-A		A-N-N-N-N-A-A	
SKAGEN 5 LOT SHORT PLAT		CITY OF RENTON	
WASHINGTON		PLANNING/BUILDING/PUBLIC WORKS DEPT.	
LANDSCAPE LEGEND & DETAILS		DATE	
BY		DATE	
REVISION		DATE	
NO.		DATE	







CUT = 2,400 YARDS ±  
FILL = 450 CUBIC YARDS ±

## GENERAL NOTES

- [illegible]

## CONSTRUCTION NOTES

- CONSTRUCTION NOTES**
- A. CONSTRUCT ROCK RETAINING WALL PER DETAIL 1/C-10.
- B. FINISHED WALL HEIGHTS ABOVE FOUR FEET WILL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WASHINGTON.

[illegible]TUTTLE ENGINEERING  
AND MANAGEMENT

**IN COMPLIANCE WITH CITY OF RENTON  
STANDARDS**

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

NEW ACADEMY SHORT PLAN	DATE	11/16/2014
TRADING PLAN	PREPARED BY	NAME
	TRADING NO.	C-7
	PAGES	7/13
		A-N-N-N-A-A



SOIL & ENVIRONMENTAL ENGINEERS, INC.  
16625 Redmond Way, Suite M 124, Redmond, Washington 98052, (425) 868-5868

---

October 14, 2011

Mr. Phil Kitzes  
PK Enterprises  
23035 SE 263<sup>rd</sup> Street  
Maple Valley, WA 98038


Report  
Geotechnical Investigation  
Proposed Skagen Short Plat  
Talbot Rd S and S 198<sup>th</sup> Pl, Renton, WA

We are pleased to present herewith our Report of Geotechnical Investigation for the referenced project. Our services were authorized by Mr. Mike Skagen on July 28, 2011, and have been provided in accordance with our proposal dated July 27, 2011.

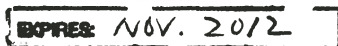
We appreciate the opportunity to provide our services. Should you have any question regarding the contents of this report or require additional information, please call.

Very truly yours,  
SOIL & ENVIRONMENTAL ENGINEERS, INC.



  
C. J. Shin, Ph.D., P.E.  
President

10-14-11



CC: Mr. Steve Lee



**TECHNICAL INFORMATION REPORT**  
**for**  
**SKAGEN 5-LOT SHORT PLAT**  
**(LUA11-089)**

**197XX Talbot Road South**  
**Renton, WA 98055**  
**Tax Parcel: 793100-0058**

**November 14, 2014**

**Prepared For Owner:**

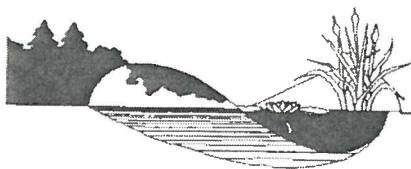
Michael Skagen  
12050 S.E. 178th Street  
Renton, WA 98058

**Prepared By Engineer-of-Record:**

John R. Tuttle, P.E. - Principal  
Tuttle Engineering and Management  
275 West Rio Vista Avenue, Suite 1  
Burlington, WA 98233  
360-899-5953



**Entire Document**  
**Available Upon Request**



**Sewall Wetland Consulting, Inc.**

**SKAGEN SHORT PLAT  
CITY OF RENTON  
CRITICAL AREAS REPORT**

**Prepared For:**

**Mike Skagen  
12050 SE 178<sup>th</sup> Street  
Renton, Washington 98058**

**October 21, 2011  
Job#11-141**

**RECEIVED**

**JAN 20 2015**

**CITY OF RENTON  
PLANNING DIVISION**

**Sewall Wetland Consulting, Inc.  
27641 Covington Way SE #2  
Covington, WA 98042**

**Phone: 253-859-0515  
Fax: 253-852-4732**

**Entire Document  
Available Upon Request**

# EXHIBIT 12

This certificate provides information necessary to evaluate development proposals.

Certificate : 4480

## SOOS CREEK WATER AND SEWER DISTRICT CERTIFICATE OF WATER AVAILABILITY

Type: Short SubDivision :

Applicant's Name: Phillip Kitzes

Proposed Use: Proposed 5 lot short plat "Skagen Plat"

Location: Lot: 1 Block: Development: SPRINGBROOK ACRES TRACT L

Parcel: 793100 0058 Address: N. of 19808 Talbot Rd. S in Renton

Information:

### WATER PURVEYOR INFORMATION

1. a ☐ Water will be provided by service connection only to an existing Null water main, Null feet from the site.  
b ☒ Water service will require an improvement to the water system of:  
The 6" AC water main in Talbot Rd. S. will be required to be abandoned and replaced with an 8" DI line if any frontage improvements are required by other jurisdictions for the proposed plat. In addition, the water main line on the south side will need to be extended to complete the water loop. Final water layout and requirements will be determined based on the final site plans and the Fire Marshal requirements. All plans must be approved by Soos Creek Water and Sewer District Creek Water and Sewer District and the Fire Marshal.
2. a ☒ The water system is in conformance with a County approved water comprehensive plan.  
b ☐ The water system improvement will require a water comprehensive plan amendment.
3. a ☒ The proposed project is within the corporate limits of the district, or has been granted Boundary Review Board approval for extension of service outside the district or city, or is within the County approved service area of a private water purveyor.  
b ☐ Annexation or Boundary Review Board approval will be necessary to provide service.
4. a ☒ Water is/or will be available at the rate of flow and duration indicated below at no less than 20 psi measured at the nearest fire hydrant 30 feet from the building/property (or as marked on the attached map):  
Rate of Flow: 1,000 gpm Duration: 2 hours  
b ☐ Water system is not capable of providing fire flow.
5. Service is subject to the following:  
a ☒ Connection Charge: Yes  
b ☐ Easement (s):

### Cross Connection Control devices must be in conformance with state laws.

Service is subject to the applicants agreement to comply and perform to make such installation and/or connections to the standards, regulations, requirements and conditions of this District and such other agency or agencies having jurisdiction. This District is not representing that its facilities will be extended or otherwise modified to make such service available to the applicant. It is the responsibility of the applicant to make any required extension of facilities to serve their property.

I hereby certify that the above water purveyor information is true. This certification shall be valid for one year from date of signature.

SOOS CREEK WATER & SEWER DISTRICT  
Agency Name

Development Coordinator  
Title

Darci McConnell 9/15/2011  
Signatory Name Date

 9/15/11  
Signature Date





# EXHIBIT 13

*This certificate provides  
information necessary to  
evaluate development  
proposals.*

Certificate : 5345

## SOOS CREEK WATER AND SEWER DISTRICT CERTIFICATE OF SEWER AVAILABILITY

Type: Short SubDivision

Applicant's Name: Phillip Kitzes

Proposed Use: Proposed 5 Lot Short Plat " Skagen Plat"

Location: Lot: 1 Block: Development: SPRINGBROOK ACRES TRACT  
LOT 5

Parcel: 793100 0058 Address: \*NO SITE ADDRESS\*, KENT

Information:

### SEWER PURVEYOR INFORMATION

**Sewer service can be available from Talbot Rd., stubs will need to be installed.**

1. a ☒ Sewer service will be provided by service connection only to an existing sewer main 5 feet from the site and the sewer system has the capacity to serve the proposed area.  
b ☐ Other (describe):
2. a ☒ The sewer system is in conformance with a County approved sewer comprehensive plan.  
b ☐ The sewer system improvement will require a sewer comprehensive plan amendment.
3. a ☒ The proposed project is within the corporate limits of the district, or has been granted Boundary Review Board approval for extension of service outside the district or city.  
b ☐ Annexation or Boundary Review Board approval will be necessary to provide service.
4. Service is subject to the following:  
a ☒ Connection Charge: Permit fees will be due for each lot.  
b ☐ Easement (s):  
c ☒ Other: The main line was assessed under ULID #34.

Service is subject to the applicants agreement to comply and perform to make such installation and/or connections to the standards, regulations, requirements and conditions of this District and such other agency or agencies having jurisdiction. This District is not representing that it's facilities will be extended or otherwise modified to make such service available to the applicant. It is the responsibility of the applicant to make any required extension of facilities to serve their property.

I hereby certify that the above sewer purveyor information is true. This certification shall be valid for one year from date of signature.

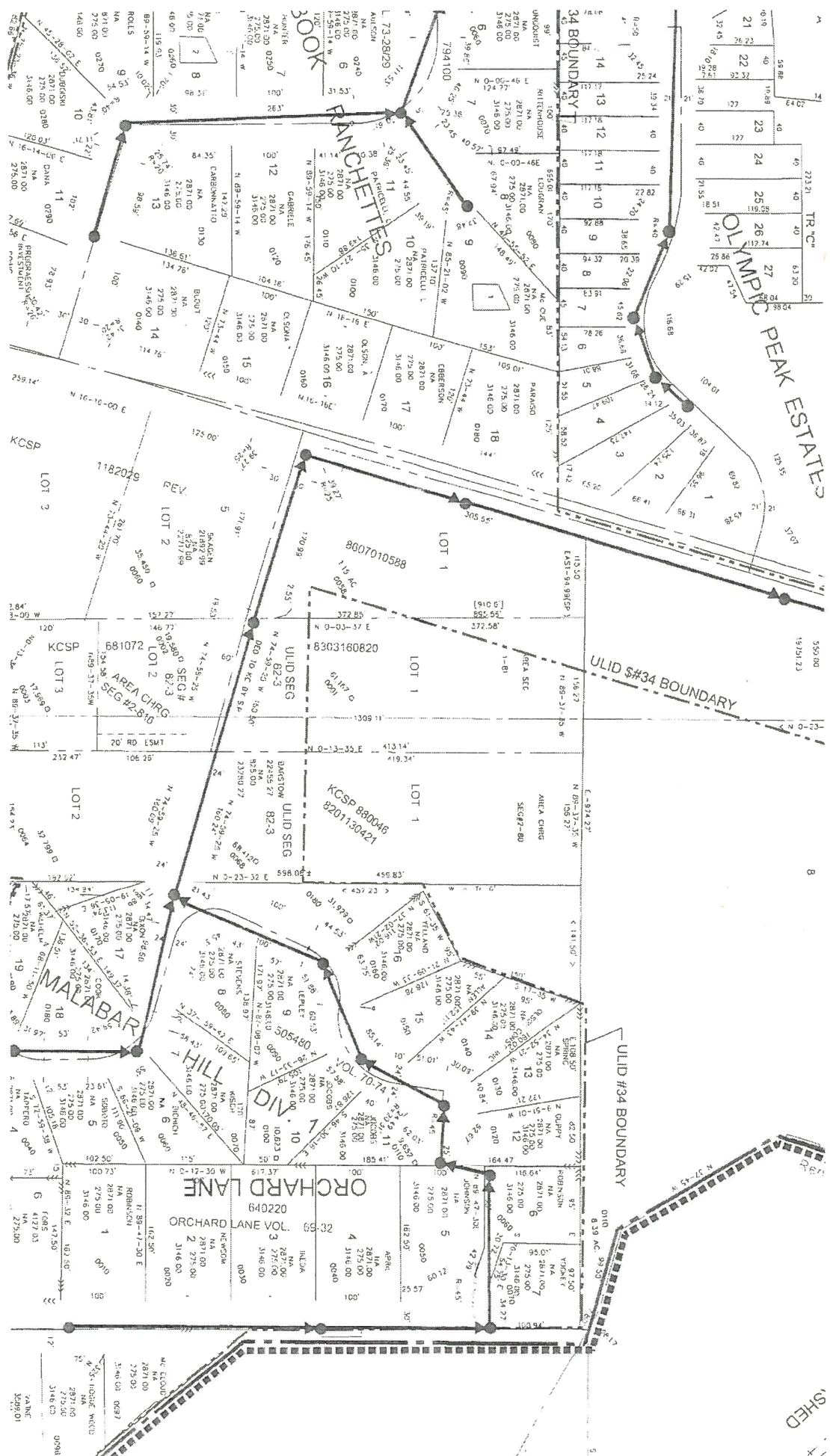
SOOS CREEK WATER & SEWER DISTRICT  
Agency Name

Development Coordinator  
Title

Darci McConnell  
Signatory Name

9/15/2011  
Date

 9/15/11  
Signature Date



'SHE'D



**SKAGEN 5-LOT SHORT PLAT (2)  
NE CORNER OF TALBOT ROAD & S 198<sup>TH</sup> STREET, Renton, WA 98055**

**December 30, 2014**

**Construction Mitigation Description:**

The proposed Skagen Short Plat is for five (5) lots located at the northeast corner of Talbot Road S. and 198<sup>th</sup> Street South, in the City of Renton, 98055. As required, the following information is being provided as a construction mitigation description as required in the submittal for a preliminary short plat:

- **Proposed Construction Dates:** Upon approval of all jurisdictional and purveyor permits—ETA start is June of 2015 and would run through the summer.
- **Hours and Days Operation:** As allowed per the jurisdiction. Generally, Monday through Saturday (7:00A to 7:00P).
- **Proposed Haul/Transport Routes:** TBD. (Balance on site.)
- **Measures to Min. Dust, Traffic, Etc.:** As required by the City.
- **Special Hours of Operation:** None proposed at this time.
- **Preliminary Traffic Control Plan:** None proposed at this time.

Denis Law  
Mayor



June 7, 2011

Department of Community and Economic Development  
Alex Pietsch, Administrator

Mr. Phillip Kitzes  
PK Enterprises  
23035 SE 263<sup>rd</sup> Street  
Maple Valley, WA 98038

**RE: Street Modification Request – South 198<sup>th</sup> Place  
Proposed Skagen Property Short Plat Application**

Dear Mr. Kitzes:

We have reviewed your street modification request for the normal code required street improvements associated with a proposed four lot short plat, located on the east side of Talbot Road S. and north of the undeveloped S. 198<sup>th</sup> Place right-of-way. The proposed short plat would typically be required to provide full frontage improvements along Talbot Road S., adjacent to the short plat, and half street improvements to the section of S. 198<sup>th</sup> Place, adjacent to the development property. The project tentatively would also be required to provide for alley type improvements along the east side of the property for vehicular access to the proposed lots. Since Talbot Road S. is an arterial street at this location, driveway access to Talbot Road S. would typically be discouraged for newly created residential lots.

The modification request is to eliminate the requirements for improvements to S. 198<sup>th</sup> Place. This would also require modification to the requirement for vehicular access from the east side of the parcel. The modification request is based on serious difficulties with constructing a roadway to safe and economical engineering standards with the existing grades within the undeveloped right-of-way. The construction of the new road would require extensive retaining walls, as high as 13 feet. There are also potential sight distant problems with the new intersection location on Talbot Road S. if this street connection were completed.

Based upon these documented engineering constraints, the requested modification is granted, subject to conditions. The inability to create this street connection makes the rear alley also infeasible for construction and use for the new lots. Access will have to be accommodated from Talbot Road S. for the four proposed lots. Since this is an arterial street, the new short plat will be limited to two shared driveways for the four lots. Each of these driveways must include an on-site turnaround to allow for vehicles to turn around on the site, to discourage future owners from backing out onto Talbot Road S. These turnarounds must be contained within mutual access easements

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CITY OF RENTON  
PLANNING DIVISION

between the subject lots, be fully paved, and constructed prior to completion of any houses on the future lots. Frontage improvements, including new curb, gutter, planting strip, and sidewalks are still required for Talbot Road S. adjacent to the property. The sidewalk width for the new sidewalk on Talbot Road S is modified from six feet in width to five feet in width, due to the lower density zoning of the area.

The street standards modification does not become official until the short plat is approved, at which point it can be appealed, etc. The modification listed in this letter will be included as part of the CED approval for the future short plat application.

If you have any further questions regarding street improvement or drainage requirements for this project, please contact Jan Illian at 425-430-7216 or [jillian@rentonwa.gov](mailto:jillian@rentonwa.gov).

Sincerely,



Neil Watts, Director  
Development Services Division

cc: Kayren Kittrick, Development Engineering Supervisor  
Jennifer Henning, Current Planning Manager  
Jan Illian, Plan Reviewer  
Rocale Timmons, Associate Planner



**PLAN REVIEW COMMENTS LUA15-000024**



**Application Date:** January 20, 2015  
**Name:** Skagen 5-Lot Short Plat (2)

**Site Address:** 197XX Talbot Road South  
 Renton, WA 98055-6432

**Plan – Planning Review**

<b>Engineering Review Comments</b>	<b>Kamran Yazdidoost   425-430-7382   kyazdidoost@rentonwa.gov</b>
Recommendations: Rock wall cannot be at planter strip area. Please remove the rock wall from planter strip area (sheet 6 of 13). Please replace the note at rock wall detail to "handrail required when the rock wall is over 2' 6" from height measured from ground.	

<b>Fire Review - Building Comments</b>	<b>Corey Thomas   425-430-7024   cthomas@rentonwa.gov</b>
Recommendations: Environmental Impact Comments:	
1. The fire impact fees are applicable at the rate of \$495.10 per single family unit. This fee is paid prior to recording the plat.	
Code Related Comments:	
1. The fire flow requirement for a single family home is 1,000 gpm minimum for dwellings up to 3,600 square feet (including garage and basements). If the dwelling exceeds 3,600 square feet, a minimum of 1,500 gpm fire flow would be required. A minimum of one fire hydrant is required within 300 feet of the proposed buildings and two hydrants if the fire flow goes up to 1,500 gpm. There is one existing fire hydrant in this area and it meets current code. A water availability certificate is required from Soos Creek Water and Sewer District.	
2. Fire department apparatus access roadways are adequate as they exist.	

<b>Planning Review Comments</b>	<b>Clark Close   425-430-7289   cclose@rentonwa.gov</b>
Recommendations:	
1. RMC section 4 4 030.C.2 limits haul hours between eight thirty (8:30) a.m. and three thirty (3:30) p.m., Monday through Friday unless otherwise approved in advance by the Development Services Division.	
2. New single-family construction activities shall be restricted to the hours between seven o'clock (7:00) a.m. and eight o'clock (8:00) p.m., Monday through Friday. Work on Saturdays shall be permission only. No work shall be permitted on Sundays.	
3. Within thirty (30) days of completion of grading work, the applicant shall hydroseed or plants appropriate ground cover over any portion of the site that is graded or cleared of vegetation and where no further construction work will occur within ninety (90) days. Alternative measures such as mulch, sodding, or plastic covering as specified in the current King County Surface Water Management Design Manual as adopted by the City of Renton may be proposed between the dates of November 1st and March 31st of each year. The Development Services Division's approval of this work is required prior to final inspection and approval of the permit.	
4. The applicant may not fill, excavate, stack or store any equipment, dispose of any materials, supplies or fluids, operate any equipment, install impervious surfaces, or compact the earth in any way within the area defined by the drip line of any tree to be retained.	
5. The applicant shall erect and maintain six foot (6') high chain link temporary construction fencing around the drip lines of all retained trees, or along the perimeter of a stand of retained trees. Placards shall be placed on fencing every fifty feet (50') indicating the words, "NO TRESPASSING – Protected Trees" or on each side of the fencing if less than fifty feet (50'). Site access to individually protected trees or groups of trees shall be fenced and signed. Individual trees shall be fenced on four (4) sides. In addition, the applicant shall provide supervision whenever equipment or trucks are moving near trees.	

## PLAN REVIEW COMMENTS LUA15-000024



### Police Review Comments

Cyndie Parks | 425-430-7521 | cparks@rentonwa.gov

Recommendations: Estimated Calls for Service Annually: 5  
Minimal impact on police services.

### Technical Services Comments

Bob Mac Onie | 425-430-7369 | bmaconie@rentonwa.gov

Recommendations: Short Plat: Bob Mac Onie 2/6/2015

A licensed surveyor must prepare, stamp, sign and date the final plat submittal. Do not use the City's title block or "SEAL" on the final submittal; this document is not a product of, or for the City.

Note the City of Renton land use action number and land record number, LUA15 000024 and LND 20 0617, respectively, on the final short plat submittal. The type size used for the land record number should be smaller than that used for the land use action number.

Show two ties to the City of Renton Survey Control Network. The geometry will be checked by the city when the ties have been provided.

Provide sufficient information to determine how the plat boundary was established.

Provide short plat and lot closure calculations.

Note what was found when visiting the existing monuments.

Indicate what has been, or is to be, set at the corners of the proposed lots.

Note discrepancies between bearings and distances of record and those measured or calculated, if any.

Include the addresses for the proposed lots from the attached on the final short plat drawing.

Do note encroachments, if any.

Do include a "LEGEND" block for the short plat drawing, detailing any symbols used thereon.

Note all easements, covenants and agreements of record on the drawing.

Note any relevant researched resources on the short plat submittal.

Include language regarding the purpose, ownership and restriction for the Tracts create but the short plat.

Note the plat name and lot/tract numbers of the adjoining properties or note as "Unplatted."

Do not include "OWNER/DEVELOPER", "SURVEYOR", "CIVIL ENGINEER", "LANDSCAPE ARCHITECT", and "PLANNER" blocks ("CONTACT DATA") on the final short plat submittal.

Remove all references to site address, building setback lines, zoning and density information ("PROJECT DATA") from the short plat submittal.

All of the boundary/lot lines of the short plat should be solid.

The City of Renton Administrator, Public Works Department, is the only city official who signs the final short plat submittal. Provide an appropriate approval block and signature line. Pertinent King County approval blocks also need to be noted on the drawing.

All vested owner(s) of the subject final short plat need to sign the final short plat drawing. Include notary blocks as needed.

## Technical Services Comments

Bob Mac Onie | 425-430-7369 | bmaconie@rentonwa.gov

Include a declaration block on the drawing, titled "OWNERS' DECLARATION" not "CERTIFICATION" or other.

Note that if there are easements, restrictive covenants or agreements to others (City of Renton, etc.) as part of this subdivision, they can be recorded concurrently with the final short plat. The final short plat drawing and the associated document(s) are to be given to the Project Manager as a package. The recording number(s) for the associated document(s) are to be referenced on the final short plat drawing. Provide spaces for the recording numbers thereof.

If there are new easements for ingress, egress, utilities, etc. shown for the benefit of future owners of the proposed lots, each needs a note defining the rights associated with the easement at issue. Since these new "proposed" easements shown aren't "granted and conveyed" until the benefited and/or burdened lots are conveyed to others add the following language on the face of the short plat drawing:

### DECLARATION OF COVENANT:

The owners of the land embraced within this short plat, in return for the benefit to accrue from this subdivision, by signing hereon covenant and agree to convey the beneficial interest in the new private easements shown on this short plat to any and all future purchasers of the lots, or of any subdivisions thereof. This covenant shall run with the land as shown on this short plat.

The preceding statement obligates the seller of the lots created to "expressly grant and convey" the lots "together with and/or subject to" any new private easements delineated on the short plat in the conveying document.

A private ingress, egress and utility easement require a "New Private Easement for Ingress, Egress and Utilities Maintenance Agreement" statement.

Remove the City of Renton "SEAL" from the short plat submittal.

## Community Services Comments

Leslie Betlach | 425-430-6619 | lbetlach@rentonwa.gov

### Recommendations:

A. Parks Impact fee per Ordinance 5670 applies. A 5' wide bike lane per adopted Trails Plan applies. (See project sheet #148-Talbot Road South Bicycle lanes.)

B. See page 2 code related comments.

C. Street trees: Street trees shall be spaced 50 feet on-center or further' use only 6 trees along Talbot. No street tree shall be closer than 30 feet from a street light (not shown on plans). No street tree shall be closer than 6 feet to a fire hydrant. No street tree closer than 10 feet to a driveway approach.

Landscaping: No shrubs or lavender closer than 15 feet from a driveway approach

Sidewalk and Planting Strip – On north end bring sidewalk and planter strip up to property line. Plan shows it stopping about 10 feet short.